

Development Management Committee – 20th July ‘26

Application Number: 26/00628/FUL

Proposal: Erection of two storey side extension, internal works to first floor and change of use from residential C3 to commercial Use Class E (c).

Location: 63 Cambridge Street Godmanchester

Applicant: Andrew Perryman

Agent: Lee Bevens

Case Officer: Olivia Manton

Parish: Godmanchester

Reason for Referral: This application is referred to the Development Management Committee (DMC) as the Officer recommendation for approval is contrary to the recommendation of Godmanchester Town Council.

Committee Date: 20th July 2026

EXECUTIVE SUMMARY OF PROPOSALS AND RECOMMENDATION

RECOMMENDATION: THAT THE HEAD OF PLANNING, INFRASTRUCTURE & PUBLIC PROTECTION BE GIVEN DELEGATED POWERS TO GRANT PERMISSION FOR THE DEVELOPMENT SUBJECT TO CONDITIONS

Proposal

The application seeks full planning permission for the erection of a two storey side extension, internal works to first floor and change of use from residential C3 to commercial Use Class E (c). The property is a Listed Building and therefore an associated Listed Building Consent application is also being considered and should be read in conjunction with the FUL application.

Consultations

The following consultees have raised **objections** to the application:

- Godmanchester Town Council

The following consultees have raised **no objections** to the application:

- CCC Archaeology, HDC Conservation Officer, CCC Highways, HDC Environmental Health

One letter of objection has been received, and no letters of support have been received.

Conclusion

The application has been assessed against the relevant policies in the NPPF, the adopted Local Plan and other relevant guidance as listed in detail at Section 8 of the report.

The key issues arising from the application details are:

- Principle of Development
- Design, Visual Amenity, and Impact on Designated Heritage Assets
- Residential Amenity
- Highway Safety and Parking Provision
- Flood Risk
- Biodiversity
- Archaeology

The report looks into the key planning issues in detail, and Officers conclude that the proposal is acceptable subject to conditions.

Members are advised that the above is a summary of the proposals and key issues contained in the main report below which provides full details of all consultation responses, planning policies, the Officer's assessment and recommendations, and Members are advised that this summary should be read in conjunction with the detailed report.

MAIN REPORT

1 APPLICATION SITE AND LOCALITY

- 1.1 The application site is 63 Cambridge Street Godmanchester. The building was formally part of The Horse Shoe Inn which stretched along The Causeway and included a large courtyard, accommodation, stabling and a brewhouse. Property auctions were held at The Horse Shoe Inn until 1900. Sometime shortly after this the building was re-branded as the Horseshoe Temperance Hotel and by WW2 the Inn was converted into shops, partly demolished and the plot subdivided into separate ownerships.
- 1.2 The building was listed Grade II in 1969 and dated at that time to the Late 18th Century. The red brick façade with Venetian (or Palladian) ground floor windows is likely to be a mid 18th Century upgrade to earlier fabric and this re-fronting is evident at the side of the building. The use of 'fashionable' windows and a typical Georgian neo-classical doorcase was undoubtedly to give the building a presence in the street scene that was worthy of its prestige and status.

1.3 The interior of the building has generally suffered loss of historic details during its commercial life, particularly in the ground floor rooms. The property has a gable roof that is hipped around the bend on the corner of the street.

1.4 The existing side garage, granted permission in 1986, is to be demolished to make way for the new two storey side extension.

2 DESCRIPTION OF PROPOSED DEVELOPMENT

2.1 The development is for the erection of two storey side extension, internal works to first floor and change of use from residential C3 to commercial Use Class E (c).

2.2 As noted above, the proposals involve the demolition of the later garage extension to make way for the proposed two storey side extension.

2.3 The associated LBC application has considered the proposed internal changes to the Listed Building. The FUL application relates primarily to the proposed two storey side extension and the change of use from residential accommodation to Use Class E (c), which includes financial services, professional services (other than medical services) and any other services which it is appropriate to provide in a commercial, business or service locality. It is noted that the ground floor office space is currently occupied by a financial services company and that they wish to expand the business to the first floor.

2.4 It is noted that there has been an established commercial use at ground floor level with a change of use from shop to estate agents granted permission in the late 1980s.

2.5 Officers have scrutinised the plans and have familiarised themselves with the site and surrounding area.

3 RELEVANT PLANNING HISTORY

3.1 The following planning history is considered relevant to the current proposal:

- 7700883LBC – Motorcycle Business – refused 03.10.1977
- 78/00120/FUL - Change of use from residential to offices – 20.03.1978
- 7801246LBC - Alterations to door of existing shop – permission granted 18.09.1978
- 83/00012/FUL - Change of use of part storage area to sales area – permission granted 02.02.1983
- 8600324FUL - Garage extension to dwelling – permission granted 09.06.1986
- 8600382LBC – Garage – consent granted 09.06.1986
- 89/00471/FUL - Change of use from shop to estate agents office – permission granted 06.06.1989
- 89/01970/FUL - Change of use from health food shop to financial services office – permission granted 1.12.1989

- 93/01437/ADV - Display illuminated hanging sign – consent granted 07.03.1994
- 93/01443/LBC - Illuminated hanging sign and applied lettering – consent granted 03.03.1994
- 23/01249/LBC - Garage re-purpose, new signage and fire prevention work – consent granted 24.10.2023
- 24/00078/HHFUL - New extension, replacement threshold and internal work to first floor – permission granted 19.07.2024
- 24/00079/LBC - New extension, replacement threshold and internal work to first floor – consent granted 19.07.2024
- 25/80296/COND - Discharge of Conditions 3 (windows) and 4 (materials) of 24/00079/LBC – approved 17.12.2025
- 25/80301/COND - Discharge of Conditions 3 (windows) and 4 (materials) of 24/00078/HHFUL – approved 17.12.2025
- 26/00629/LBC - Erection of two storey side extension, internal works to first floor and change of use from residential C3 to commercial Use Class E (c) – pending consideration

4 RELEVANT PLANNING POLICY AND GUIDANCE

Statutory Duty

- 4.1 Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise.
- 4.2 Section 16 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires Local Planning Authorities in considering whether to grant listed building consent for any works to have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires Local Planning Authorities when considering development that affects the setting of a listed building or its setting to have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires Local Planning Authorities when considering development to pay special attention to preserving or enhancing the character or appearance of a conservation area.

RESPONSE TO CONSULTATION

- 4.3 Below is a summary of the consultation responses received at the time of writing this report. Responses are available to view in full on the Council's website.

Consultee Name	Position	Comment
Godmanchester Town Council	Objection	The Council recognises the potential benefit of increasing the provision of commercial space within the proposal. However, Members have raised concerns regarding the impact of the development on neighbouring amenity, particularly in relation to the loss of natural light and outlook to adjacent properties. As currently designed, the scale and positioning of the extension appear likely to result in a material reduction in light to neighbouring windows. The Council would encourage the applicant to explore alternative design solutions, such as utilising the existing garage footprint to provide a more modest stair access arrangement, which may enable use of the upper floor without adversely impacting neighbouring properties.
CCC Archaeology Officer	No objection	Our advice remains the same as previous applications 24/00078/HHFUL and 24/00079/LBC, namely that due to the archaeological potential of the site, a further programme of investigation and recording is required in order to provide more information regarding the presence or absence, and condition, of surviving archaeological remains within the development area, and to establish the need for archaeological mitigation of the development as necessary. We are in receipt of an approved Written Scheme of Information for the works proposed under 24/00078/HHFUL and 24/00079/LBC. The scope of works will remain the same as for this application, so we would recommend that the previous WSI can be uploaded in support of this

		application. We have been notified that fieldwork for the archaeological monitoring works are underway and would recommend usage of a condition to secure the remainder of the works.
HDC Conservation Officer	No objection	The applications satisfy the Planning (LBs and CAs) Act 1990 and accord with the NPPF and Local Plan Policy LP34. The applicant has submitted joinery and material details previously permitted through condition discharge; no further conditions are required.
HDC Environmental Health	No objection	No further comment to make.
CCC Highways	No objection	It is noted that there is no on-site parking associated with the proposal however there are public car parks in the vicinity. The proposal is unlikely to represent a significant intensification of use. No significant adverse effect upon the Public Highway should result from this proposal should it gain benefit of Planning Permission.

5 RESPONSE TO PUBLICITY

Below is a summary of the third party and neighbour responses received at the time of writing this report.

5.1 There is one objection to the proposal raising the following comments:

- Object to the two storey extension due to the noise resulting from the proposed works.
- Loss of Light to the kitchen.
- Lack of parking provision.
- Side door entrance will face the neighbouring front door, so will see people coming and going.

6 APPRAISAL

Principle of Development

- 6.1 Policy LP7 allows for development within built-up areas including Godmanchester. Its states in the explanatory text above that:
- 6.2 Definition of Spatial Planning Areas:
- 6.3 Huntingdon Spatial Planning Area: incorporates the whole parish of Huntingdon, and parts of the parishes of Brampton and Godmanchester including the settlements and the intervening land connecting them to Huntingdon. It also covers small parts of Alconbury, Kings Ripton, Wyton on the Hill and Houghton and Wyton parishes where they closely relate to the built-up area of Huntingdon. The Spatial Planning Area includes a substantial part of The Stukeleys parish covered by the strategic expansion location of Alconbury Weald but specifically excludes the villages of Great and Little Stukeley. Huntingdon is the primary settlement within this Spatial Planning Area.
- 6.4 LP 7 continues on to state that 'A proposal for housing development (class 'C3') or for a residential institution use (class 'C2') will be supported where it is appropriately located within a built-up area of an identified Spatial Planning Area settlement.'

Business Development

A proposal for business development (Class 'B') will be supported where it is appropriately located within a built-up area of an identified Spatial Planning Area settlement. An appropriate location will include an Established Employment Area defined in policy LP 18 'Established Employment Areas' in policy LP 21 'Town Centre Vitality and Viability' or the Alconbury Enterprise Zone.

Main Town Centre Uses

A proposal for a main town centre use, as defined in the 'Glossary', will be supported where it is appropriately located within a built-up area of an identified Spatial Planning Area settlement. An appropriate location will be determined through the application of the sequential approach as set out in the National Planning Policy Framework

- 6.5 It is noted that Use Class B, prior to September 2020 referred to office use other than for financial services, research & development of products or processes, Industrial Use and Storage and distribution.
- 6.6 Since September 2020 Use Class B has been replaced with Use Class E, which includes Use Class E c) i) Financial Services, ii) Professional Services (other than medical services), iii) any other services which it is appropriate to provide in a commercial, business or service locality. In addition, it is noted that the change of use from residential to commercial for the ground floor space at the property was granted permission in the late 1970s.

- 6.7 The building is in a central location within Godmanchester Town Centre. It is surrounded by commercial buildings, particularly to the south, along Causeway. Whilst it is not classified as a Main Town Centre Use, the provision of financial services at the application site is already established and as such an additional commercial unit of the same Use Class at this location is considered appropriate, particularly as it extends and enhances an existing commercial space within the built-up area of the town centre. It is considered that it does not add an unacceptable level of built form within the area and is within the settlement of Godmanchester. Therefore, the principal of development is considered acceptable subject to the considerations below.

Design, Visual Amenity, and Impact on Designated Heritage Assets

- 6.8 Policy LP12 of the Huntingdonshire Local Plan to 2036 state that developments should respond positively to their context, draw inspiration from the key characteristics of its surroundings and contribute positively to the area's character and identity.
- 6.9 Policy LP34 states that a proposal within, affecting the setting of, or affecting views into or out of, a conservation area should preserve, and wherever possible enhance, features that contribute positively to the area's character, appearance and setting as set out in character statements or other applicable documents.
- 6.10 It is noted that the same scheme was approved under the previous applications, 24/00078/HHFUL & 24/00079/LBC. The difference with this revised scheme is the internal layout and the use of the first floor for office space rather than for residential accommodation.
- 6.11 The revised layout shows three office spaces in replacement for the previously approved bedrooms at first floor level and a further office space at ground floor level in replacement for a bedroom.
- 6.12 The proposed development of a two storey side extension remains as previously approved with the same massing, design and fenestration details.
- 6.13 It is noted that the previous conditions relating to joinery details for the windows and materials have been discharged and the threshold detail to the ground floor entrance has been installed, but no other larger construction has taken place. Therefore, the previous permission remains extant and could be completed at any time.
- 6.14 Until relatively recently, the ground floor of No 63 Cambridge Street was leased by Gatehouse Estates, and the first floor was used as habitable accommodation. The building has commercial use on the ground floor as part of Bright Advice Mortgages and an empty first floor flat, as permitted since the late 1980s
- 6.15 The Conservation Officer has provided comments on the application and has no objections. Comments have been provided for each section of the proposals:

Demolish garage and construct new two storey extension to expand the existing residential accommodation on the first floor.

- 6.16 The garage was built in the late 1980s so has no historic or architectural value. The proposed extension is subservient to the main part of the building and should be readily determined to be a modern addition while still maintaining the quality of the building within the street scene. The design references elements of the main building and the materials will match. The proposal will not harm the special interest of the listed building and should maintain the character and appearance of the conservation area. The extension is acceptable and the proposed materials accord with those granted consent under application 24/00079/LBC.

Removal of 1930s fireplace in the first floor sitting room

- 6.17 It is proposed to remove a tiled 1930s or 1940s fireplace and surround from the first floor sitting room. The original fireplace has been blocked up and the fire surround removed. The modern fireplace is a considerable weight and is inadequately supported beneath leading to it pulling away from the chimney stack. Removal of the modern fireplace is necessary and will lead to no loss of special interest to the listed building. The proposed replacement fire surround is an acceptable copy of what would probably have been there originally.

Repair/replacement/alteration of windows

- 6.18 Investigation of the windows and doors by a professional joiner has uncovered areas of rot in the first floor sash window facing Cambridge Street (W10). It is proposed to replace the window on a like for like basis as the existing window is not capable of repair and refurbishment. It is agreed that this window is rotten beyond repair. Joinery details have been provided.
- 6.19 W9 has been modified in the 20th Century by the removal of the bottom sash and its replacement with a frame containing casement windows. It is proposed to remove the frame and reinstate a sash window built to the same details as the remaining historic upper sash. This is a benefit to the building and is acceptable.
- 6.20 W8 is a Victorian window badly modified in the 20th Century to accommodate an extension roof. It has modest significance and is in poor condition. It is proposed to alter the window aperture to better fit the roof slope and add a new window that follows the joinery details of the existing window. I have no objection to this as the Victorian window has modest interest and the proposed reworking of the window is a better solution to the issues caused by the extension roof.

Replacement of doors

- 6.21 Door D13 is a poor modern copy of a Georgian six panel door. It is proposed to replace it with a modern accurate copy of a raised and fielded six panel door that is more in keeping with the period of the listed building.

- 6.22 Door D14 is a modern plate glass shop door with plate glass side lights in a modified Georgian Venetian window aperture. It is proposed to replace these with a copy of a raised and fielded six panel door with new four paned side lights. This will be a vast improvement to the appearance of the building within the street scene and is acceptable.

Works to the main staircase

- 6.23 It is proposed to block off the top and bottom of the main staircase to the first floor with a fire door and balustrading in order to satisfy building regulations. The alterations are reversible and will have no lasting impact on the special interest of the listed building.
- 6.24 It is noted that the applicant has submitted joinery and material details previously permitted through condition discharge; no further conditions are required.

Impact on Character of Area

- 6.25 It is considered that the proposed change of use, extension and alterations will have no adverse impact upon the significance of the heritage assets. It will preserve the special interest of the listed building and maintain the character and appearance of the Godmanchester (Post Street) Conservation Area.
- 6.26 The application satisfies the Planning (LBs and CAs) Act 1990 and accord with the NPPF and Local Plan Policy LP34.
- 6.27 The proposal, therefore, accords with ss. 16 and 72 of the Planning (LBCA) Act 1990, the NPPF (2024), and Policies LP12 and LP34 of Huntingdonshire's Local Plan to 2036 (2019) in this regard.

Residential Amenity

- 6.28 It is noted that the proposed development related to this application has already been approved under previous application refs 24/00078/HHFUL & 24/00079/LBC and the applications remain extant.
- 6.29 Therefore, whilst the neighbour comments are noted, it is also noted that the impact of the proposed development upon the residential amenity of the neighbouring properties has already been carried out and the previous applications have been approved.
- 6.30 Nevertheless, in response to the neighbour comments it is acknowledged that the proposed two storey development will have an impact on the residential amenity of the neighbouring property to the east (no. 5 Tudor Court). The agent has provided plans to show the extent of the overshadowing impact in terms of both the 25 degree rule and 45 degree test which are used to check the impact of overshadowing of a proposed development.

- 6.31 The occupier has raised concerns with regard to the proximity of the proposed development to the neighbouring flat kitchen windows. The applicants did not undertake a full light assessment but have provided a 25 degree and 45 degree light assessment to consider the impact. It is accepted that some loss of light and outlook will occur as these angles are clipped. However, the vast majority of the development accord with the 25 and 45 degree tests and therefore on balance the impact of the area outside of the qualifying lines is to a small degree and as such it is considered would not cause substantial harm to neighbouring amenity to warrant refusal of the application.
- 6.32 In addition, it is noted that the majority of the impact will be to the first floor porch of the property to the east, which is classed as a non-habitable room. Under the BRE Site Layout Planning for Daylight and Sunlight: A Guide to Good Practice 3rd Edition 2022, the loss of light to non-habitable rooms need not be analysed. In addition, the rooms beyond the porch will have their own windows providing daylight and therefore the light coming from this area is not the primary source of daylight. Therefore, whilst there will be a loss of daylight to the porch, it is considered that the proposed extension would not have a significant detrimental impact on the amenity of the neighbouring property such to warrant refusal of the application.
- 6.33 Noise due to construction works will be a temporary issue and will be resolved once the work is completed.
- 6.34 The change of use to commercial use will also result in the reduction in the intensification of the use of the building, with the evenings and weekend likely to be vacant.
- 6.35 It is noted that there is only one small window to the east facing side elevation at first floor level which serves a wc. This will be conditioned to be obscured glazing to protect the residential amenity of both the occupiers and the neighbouring property to the east.
- 6.36 Comments regarding the position of the side door and being aware of people coming in and out of the building are noted. However, the property is located within an urban edge street setting, with buildings positioned close together and therefore the views of people leaving and entering any building would not be uncommon and are not considered to significantly detrimentally impact the privacy of the neighbouring residents to the east such to warrant refusal of the application.
- 6.37 Comments from the Town Council are noted. As already discussed, the proposed development of the two storey extension has already received planning permission in 2024, with Godmanchester Town Council recommending approval.
- 6.38 The Town Council has provided further comments stating that they did not consider that the two storey extension was necessary and that sufficient space could be provided solely within the existing space and a ground floor construction in place of the garage, mitigating the impact on the neighbouring property to the east.

- 6.39 An alternative design is not of relevance to this current application. It is reiterated that the proposed development has an extant planning permission. It is considered that the proposed change of use will result in a less intensive use with occupiers unlikely to occupy the property throughout the day and night and at weekends, mitigating the impact on the neighbouring property to the east.
- 6.40 Given the scale and location of the extension and works, alongside the existing built form and having regard to the separation to and orientation with adjacent dwellings and land, it is considered that the extension and works would not have an unacceptable impact on residential amenity. The development therefore accords with Policy LP14 of Huntingdonshire's Local Plan to 2036 in this regard.

Highway Safety and Parking Provision

- 6.41 The development will result in the loss of a parking space within the existing garage. Given the location in the historic town centre and listed building it is expected that these historic properties/flats do not have land for car parking. There is plenty of car parking provision in the vicinity and given the very sustainable location with good public transport links and facilities nearby, it is felt that this lack of parking would not be unreasonable or cause harm to the highway network or standard of living.
- 6.42 In addition, CCC Highways has been consulted on the proposal and has raised no objections. They have noted that whilst there is no on-site parking associated with the building, there are public car parks in the vicinity. It is considered that the proposal is unlikely to represent a significant intensification of use and that there will be no significant adverse effect upon the Public Highway as a result of the proposal.
- 6.43 The development is therefore considered to be acceptable with regard to parking provision and highway safety and in accordance with Policy LP17 of Huntingdonshire's Local Plan to 2036.

Flood Risk

- 6.44 The application site is located within Flood Zone 2 as classified by the Huntingdonshire Strategic Flood Risk Assessment (2017) and the Environment Agency's Flood Map for Planning.
- 6.45 Footnote 63 of the NPPF (2024) states that all development proposals within Flood Zones 2 and 3 should be accompanied by a site-specific Flood Risk Assessment. Paragraph 176 of the NPPF states that applications for some minor development and changes of use should not be subject to the sequential or exception tests but should still meet the requirements for site-specific flood risk assessments set out in footnote 63.
- 6.46 Within the Flood Risk section of the Governments Planning Practice Guidance (PPG) it is stated that if the sequential test is passed, an exceptions test is required for 'highly vulnerable' development in Flood Zone 2. The proposed commercial use is classed as less vulnerable by the PPG Flood risk vulnerability

classification table and therefore this development proposal does not require the exceptions test.

- 6.47 The application is accompanied by a Flood Risk Assessment which includes resilience measures and recommendations as follows:
- All new sockets and electrical points to be sited a minimum of 1100mm above finished floor level.
 - All new gypsum plasterboard to be installed horizontally.
 - Existing external walls are solid brickwork. It is not proposed to alter this to add any form of dpc or engineering brick as this would be contrary to conservation requirements.
 - Existing floor is concrete with a screed finish. It is not proposed to alter this.
 - All new partitions to be solid blockwork.
 - Proposed floor level to be no lower than the existing floor level.
- 6.11 Officers have reviewed the submitted Flood Risk Assessment and consider that subject to accordance with the proposed resilience measures and recommendations, the development would not have an adverse impact on flood risk in the locality and is acceptable. As such, the development is considered compliant with LP5 of Huntingdonshire's Local Plan to 2036 and the NPPF in this regard.

Biodiversity

- 6.12 Policy LP30 of the Local Plan to 2036 states that a proposal will be required to demonstrate that all potential adverse impacts on biodiversity and geodiversity have been investigated. A proposal will ensure no net loss in biodiversity and provide a net gain where possible, through the planned retention, enhancement and creation of habitats and wildlife features, appropriate to the scale, type and location of development.
- 6.13 Due to the nature of the proposal, it is noted that the proposal is below the development threshold applying to the requirement to provide a Biodiversity Net Gain as set out in Paragraph 13 of Schedule 7A of the Town and Country Planning Act 1990 (as amended) and further that a priority habitat would not be impacted by the application.
- 6.14 The application will involve the development of a two storey side extension on existing hardstanding and the conversion of a residential flat to a commercial unit. It is noted that there is no significant area of private amenity space associated with the building and therefore there will be no impact upon a priority habitat.
- 6.15 Therefore, given the scale and siting of the proposal, it is considered that, the proposal would not have a harmful impact on biodiversity and geodiversity. The proposal, therefore, accords with LP30 of Huntingdonshire's Local Plan to 2036 (2019) in this regard.

Archaeology

- 6.16 The development lies in an area of high archaeological potential lying within the bounds of the Roman town of Godmanchester, Durovigutum. Initially a late 1st century fort, the town developed in the 2nd to 4th centuries to feature civic buildings, a mansion, bathhouse, religious buildings and defended by a town wall with defensive ditches (Cambridgeshire Historic Environment Record reference. 00857). The site lies on the north-western edge of the Roman town, showing the potential for remains associated with the towns defences within the development area itself. To the south-east of the site, archaeological investigations have revealed the remains of a large mansio and bath-house structure (CHER refs. MCB31835, 01536 and CB15621). Investigations c.60m to the east have revealed a Roman timber framed smithy building, defensive ramparts, towers and part of the Roman road of Ermine Street (CHER ref. 02651).
- 6.17 Due to the archaeological potential of the site, a further programme of investigation and recording is required in order to provide more information regarding the presence or absence, and condition, of surviving archaeological remains within the development area, and to establish the need for archaeological mitigation of the development as necessary. Therefore, the archaeologist has recommended a condition, but subject to this, the proposal will be in accordance with LP34 of Huntingdonshire's Local Plan to 2036.

Additional Duties

Public Sector Equalities Duties

- 6.18 The Equality Act 2010 provides protection from discrimination in respect of certain protected characteristics, namely: age, disability, gender reassignment, pregnancy and maternity, race, religion or beliefs and sex and sexual orientation. It places the Council under a legal duty to have due regard to the advancement of equality in the exercise of its powers including planning powers.
- 6.19 The Committee must be mindful of this duty inter alia when determining all planning applications. In particular, the Committee must pay due regard to the need to:
- (1) eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under the Act;
 - (2) advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it; and
 - (3) foster good relations between persons who share a relevant protected characteristic and persons who do not share it.
- 6.20 Due consideration has been made to The Equality Act 2010 during the assessment of the planning application; no conflicts are raised.

Human Rights

- 6.21 Due consideration has been made to The Equality Act 2010 during the assessment of the planning application; no conflicts are raised. There may be implications under Article 1 (protection of property) and Article 8 (right to respect for private and family life) of the First Protocol regarding the right of respect for a person's private and family life and home, and to the peaceful enjoyment of possessions; however, these issues have been taken into account in the determination of this application.

7 FINANCIAL CONSIDERATIONS

- 7.12 None

8 PLANNING BALANCE AND CONCLUSION

- 8.1 Planning law requires that applications for planning permission be determined in accordance with the development plan unless material considerations indicate otherwise.
- 8.2 It is noted that the previous applications have already been partially implemented and as the proposed two storey side extension remains the same for this application, the permissions are extant and can be implemented at any time.
- 8.3 The point, therefore, for consideration is the change of use from residential to commercial. As set out within this report, the proposal does not give rise to any conflict with the provisions of the Local Plan. The impacts that have been identified are not considered to be significantly detrimental to warrant refusal and can be appropriately mitigated through the use of planning conditions.
- 8.4 Therefore the principle of development for the change of use from a planning development perspective is supported and the recommendation is for approval subject to conditions.

9 RECOMMENDATION/CONDITIONS AND REASONS

- 9.1 Grant permission subject to conditions as set out below with delegated authority to the Head of Planning, Infrastructure & Public Protection to approve any amendments to conditions as deemed necessary.

Conditions (full wording)

Time Limit

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with the provisions of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

Approved Plans

2. The development shall not be carried out otherwise than in complete accordance with the approved plans and details unless a non-material or minor material amendment is approved by the Local Planning Authority under the Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended). The approved plans and details are:

- Location and Block Plan Ref: CH26/LBA/711/FP-1-100
- Proposed Floor Plans Ref: CH26/LBA/711/FP-1-101
- Proposed Elevations Ref: CH26/LBA/711/FP-1-102
- Proposed Elevations Ref: CH26/LBA/711/FP-1-103
- Proposed Window and Door Details Ref: CH26/LBA/711/FP-1-104
- Proposed Window and Door Details Sheet 2 (W8, W9 & W10)
Ref: CH26/LBA/711/FP-1-105
- Proposed Window and Door Details Sheet 3 (D14)
Ref: CH26/LBA/711/FP-1-106

Reason: To clarify the permission and for the avoidance of doubt.

Materials

3. The materials to be used in the proposed works, hereby permitted, shall be as previously agreed under condition discharge applications 25/80296/COND & 25/80301/COND approved on the 17th December 2025 with the following details. These shall be retained thereafter unless otherwise agreed in writing by the local planning authority.

Brick sample - Imperial Blend & Tumbled Regency Multi Handmade
FloPlast Half Round Gutter – 112mm x 4mtr Cast Iron Effect
Roof Slates - Cupa 12 Spanish Slate
Plain Roof Tiles - Sahtas Brookhurst Restoration Clay Roof Tiles

Reason: To ensure detailing and materials appropriate to this listed building in accordance with Policy LP34 of the Huntingdonshire Local Plan to 2036.

Obscured Glazing

4. The development, hereby permitted, shall not be occupied until the proposed first floor window in the east facing side elevation of the development has, apart from any top hung vent, been fitted with obscured glazing (meeting as a minimum Pilkington Standard level 3 or equivalent in obscurity and shall be fixed shut or have restrictors to ensure that the windows cannot be opened more than 45 degrees beyond the plane of the adjacent wall. The glazing shall thereafter be retained in accordance with the approved details

Reason: To prevent overlooking of the adjoining properties in accordance with Policy LP14 of the Huntingdonshire Local Plan to 2036.

Archaeology

5. No demolition/development shall commence until the applicant, or their agents or successors in title, has implemented a programme of archaeological work, that has been secured in accordance with a Written Scheme of Investigation (WSI) that has been submitted to and approved by the Local Planning Authority in writing. For land that is included within the WSI, no demolition/development shall take place other than under the provisions of the agreed WSI, which shall include:
 - a. The statement of significance and research objectives;
 - b. The programme and methodology of investigation and recording and the nomination of a competent person(s) or organisation to undertake the agreed works;
 - c. The timetable for the field investigation as part of the development programme;
 - d. The programme and timetable for the analysis, publication & dissemination, and deposition of resulting material and digital archives.

Reason: To safeguard archaeological assets within the approved development boundary from impacts relating to any demolitions or groundworks associated with the development scheme and to ensure the proper and timely preservation and/or investigation, recording, reporting, archiving and presentation of archaeological assets affected by this development, in accordance with national policies contained in the National Planning Policy Framework (DLUHC 2023).

Informatives:

Partial discharge of the condition can be applied for once the fieldwork at Part c) has been completed to enable the commencement of development. Part d) of the condition shall not be discharged until all elements have been fulfilled in accordance with the programme set out in the WSI.

26/00628/FUL and 26/00629/LBC – 63 Cambridge Street Godmanchester

Godmanchester Town Council comments received 28th April 2026 and 4th June 2026

Planning Application	26/00628/FUL & 26/00629/LBC
Location	63 Cambridge Street Godmanchester Huntingdon
Work requested	Erection of two storey side extension, internal works to first floor and change of use from residential C3 to commercial Use Class E (c).
Response Date	28.04.2026

Recommendation:	Refusal. The Council recognises the potential benefit of increasing the provision of commercial space within the proposal. However, Members have raised concerns regarding the impact of the development on neighbouring amenity, particularly in relation to the loss of natural light and outlook to adjacent properties.
------------------------	--

As currently designed, the scale and positioning of the extension appear likely to result in a material reduction in light to neighbouring windows. The Council would encourage the applicant to explore alternative design solutions, such as utilising the existing garage footprint to provide a more modest stair access arrangement, which may enable use of the upper floor without adversely impacting neighbouring properties.

This recommendation is based on the information available to the Planning Portfolio at the time of the meeting.

Hi [REDACTED]

My apologies for the delay in responding. I circulated your email, together with the Town Council's original comments, to the Planning Portfolio for further consideration. One of the members of the Portfolio has reviewed the application and provided the following observations.

Having reviewed the previous application on the planning portal, it appears that the elevations submitted as part of the current application are the same as those submitted in 2024.

From the Portfolio's discussions when reviewing the recent application, the principal concerns related to the proposed extension above the existing garage and the impact this may have on the neighbouring property, rather than the proposed commercial use of the building itself.

When comparing the plans submitted in 2024 with those submitted in 2026, it is noted that the ground floor garage space was previously proposed to be converted into a bedroom, with a substantial hallway and staircase occupying a significant proportion of the floor area. The first floor was proposed to provide a study, bathroom and staircase access.

Under the current application, the proposed ground floor bedroom has been replaced with an office, while the hallway and staircase arrangement remain largely unchanged. The first-floor accommodation is now proposed to comprise an office, WC and staircase.

During its review of the current application, the Planning Portfolio questioned whether the same level of office accommodation could be achieved by reconfiguring the ground floor space to provide two offices, together with a smaller hallway arrangement and without the need for the first-floor extension. While it is acknowledged that a WC is proposed at first-floor level, the plans indicate the presence of another WC across the landing, meaning that first-floor WC provision would still be available. Furthermore, existing internal stairs within the main building would continue to provide access to the first floor.

The Portfolio therefore concluded that the proposed first-floor extension would deliver only limited additional office space when balanced against its proximity to, and potential impact on, the neighbouring property.

Having reconsidered the matter, the Town Council's original recommendation remains unchanged, and it therefore continues to object to the application.

Kind regards,

[REDACTED] | Deputy CEO

Godmanchester Town Council | Town Hall | 1 Post Street | Godmanchester | PE29 2NB
deputyceo@godmanchester-tc.gov.uk

(Please note my days of work are Tuesday to Friday 8.30am – 3.00pm)

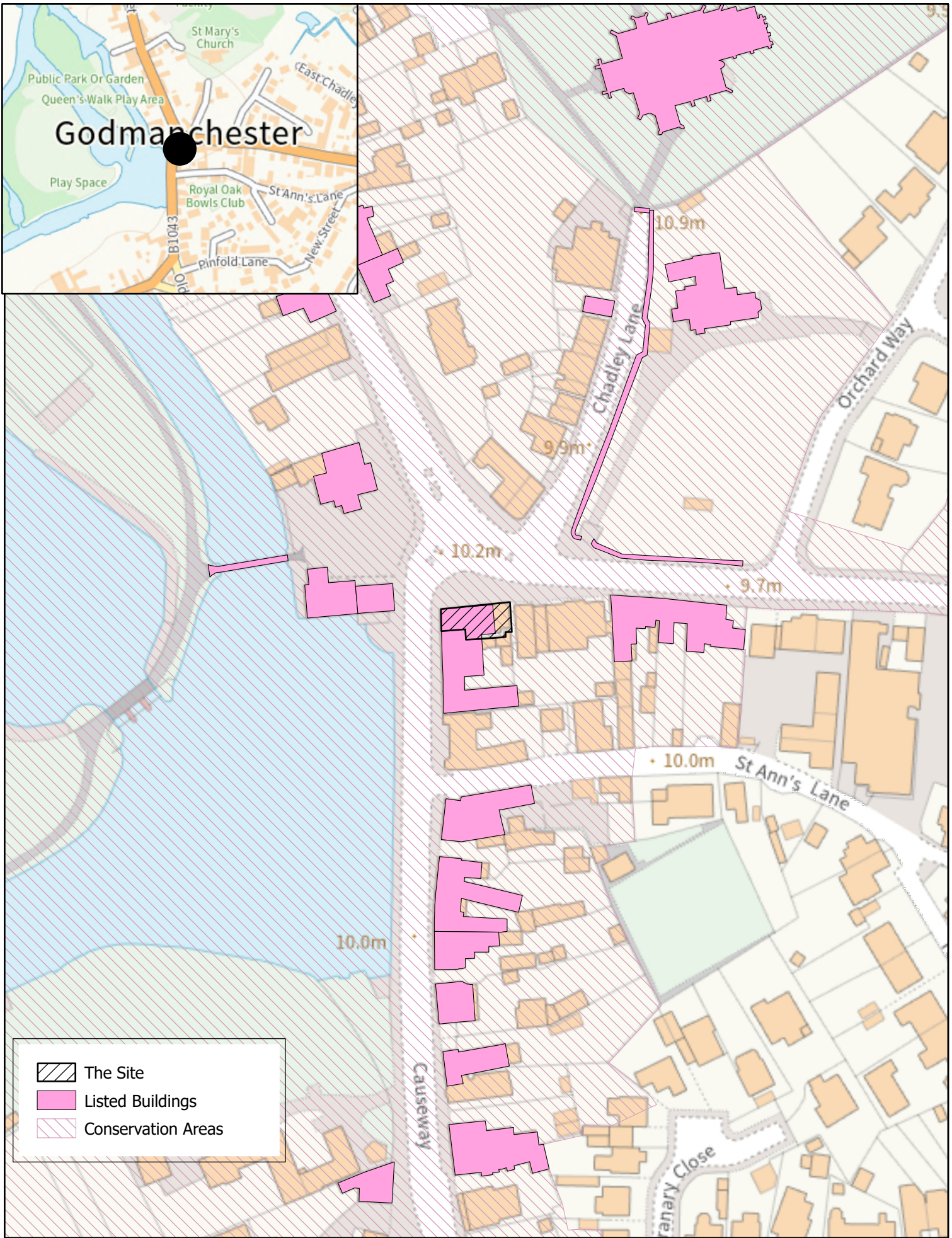


Godmanchester Town Council

Town Hall, Post Street, Godmanchester, Cambridgeshire. PE29 2NB

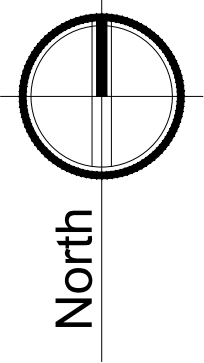


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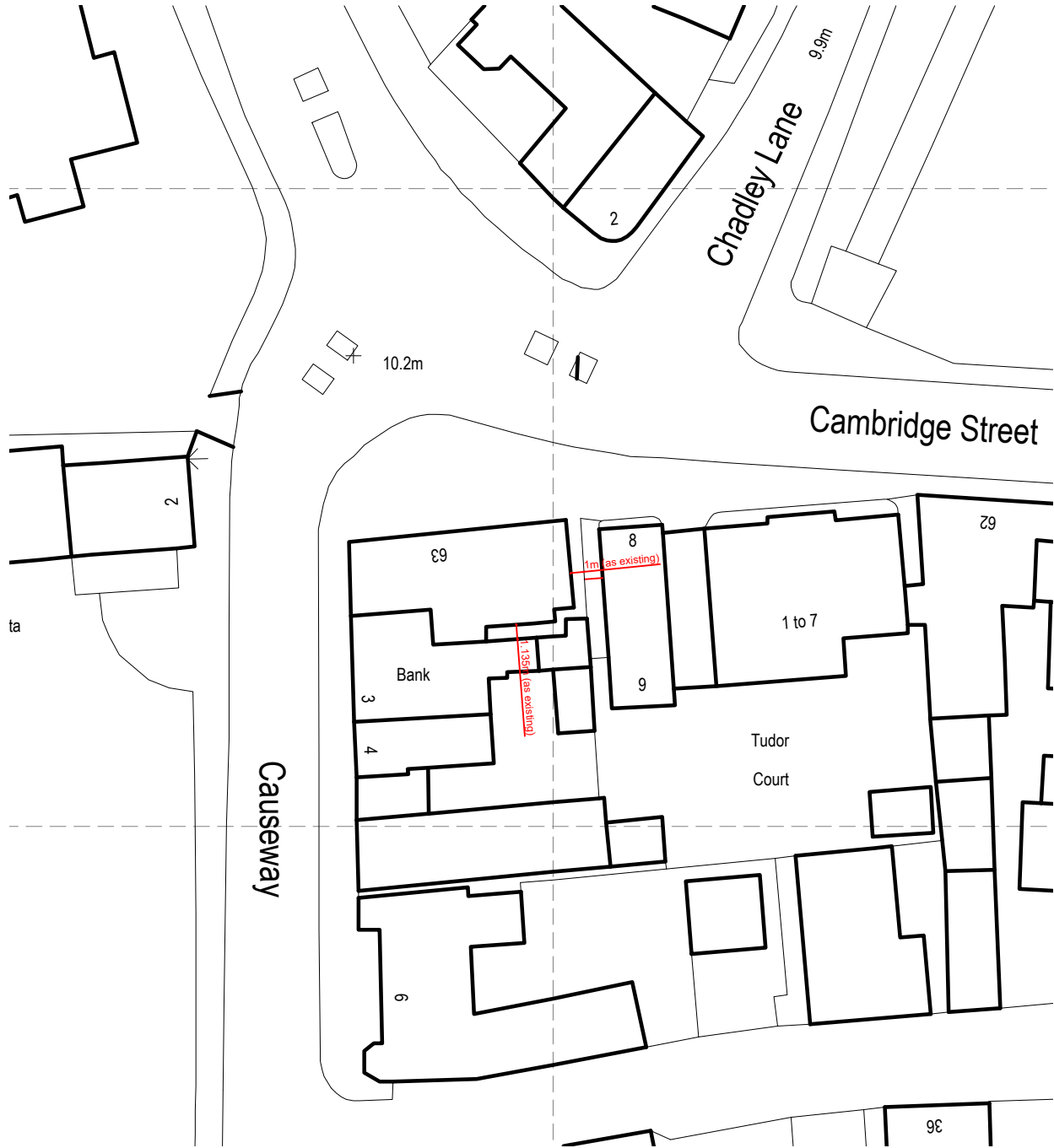


Scale: 1:1250

Scale: 1:500



Location Plan 1:1250



Block Plan 1:500

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ALL WORKS TO COMPLY WITH CURRENT CDM REGULATIONS AS APPROPRIATE. IT IS THE CLIENT'S RESPONSIBILITY TO FULLY COMPLY WITH THE CDM 2015 REGULATIONS AND THE BUILDING SAFETY ACT 2022, INCLUDING APPOINTING A PRINCIPAL DESIGNER AND PRINCIPAL CONTRACTOR FOR PROJECTS WITH MORE THAN ONE CONTRACTOR ON SITE.

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- CDM 2015 Notes**
- ALL BUILDING WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH CURRENT HSE REQUIREMENTS.
 - EXISTING ELECTRICAL AND PLUMBING SERVICES TO BE CLEARLY IDENTIFIED AND ADEQUATE MEASURES TAKEN TO ENSURE THEY ARE SAFE BEFORE WORK COMMENCES ON SITE.
 - ENSURE SAFE ACCESS INTO AND OUT OF THE BUILDING AT ALL TIMES DURING COMMENCEMENT OF WORKS ON SITE.
 - DEMOLITION/REMOVAL WORK ON SITE TO BE CARRIED OUT BY COMPETENT PERSONS AND DONE IN A SAFE AND COHERENT MANNER.
 - ALL FLOOR, WALL AND ROOF ELEMENTS ARE TO BE SUITABLY PROPPED/BRACED DURING THE WORKS. TEMPORARY WORKS ARE TO BE DESIGNED BY A SUITABLY COMPETENT PERSON.
 - PROVIDE SUITABLE SCAFFOLDING DECKS AND WORKING PLATFORMS. ENSURE MATERIALS STORED ABOVE GROUND LEVEL ARE PROVIDED WITH SUITABLE SUPPORT. ENSURE ANY NEW OR EXISTING FLOOR DECKS ARE NOT OVERLOADED.
 - ENSURE SAFE LIFTING PROCEDURES ARE IN PLACE FOR DELIVERY AND MOVING OF MATERIALS AND DURING INSTALLATION OF STRUCTURAL MEMBERS. ALL CRANE AND MACHINE OPERATIVES TO BE SUITABLE COMPETENT.
 - ENSURE ADEQUATE FIRE ESCAPE IS MAINTAINED FROM BUILDING AT ALL TIMES DURING WORKS ON SITE.
 - GIVE CAREFUL CONSIDERATION TO ANY NEW MECHANICAL OR ELECTRICAL EQUIPMENT, LIGHT FITTINGS, SECURITY DEVICES TO ENSURE ADEQUATE ACCESS IS MAINTAINED WITHIN BUILDING AND CIRCULATION ROUTES ARE MAINTAINED.
 - HALF BOARD SIZES FOR PLASTERBOARD SHEETS ARE ENCOURAGED TO MAKE HANDLING EASIER ON SITE.
 - OFF-SITE FABRICATION AND PREFABRICATED ELEMENTS ARE ENCOURAGED TO MINIMISE ON SITE HAZARDS.

General Notes

Quality Standards

The overall quality standard for the project shall be that which is expected from a quality residential development. The project is to comply with all current British or European Standard Statutory Regulations, and good practice. However there are to be considered as the minimum requirements as set out in all relevant legislation and any statutory instrument, Building Regulation, by law, or European Standard and Code of Practice.

The buildings will be designed with materials, components and techniques that are readily available, reliable and maintainable and that the building should be maintained in accordance with good practice and the guidelines and recommendations contained in the maintenance manuals.

- L Bevens Associates Architects Ltd drawings are to be read in conjunction with other relevant engineers and specialists drawings for the project.
- Dimensions are not to be scaled from drawings, either manually or electronically.
- All dimensions and setting out information is to be checked on site prior to work commencing. Any dimensional discrepancies are to be reported to L Bevens Associates Architects Ltd before the affected work proceeds.
- Any discrepancies found on the drawings or between the drawings and any other relevant information must be brought to the attention of L Bevens Associates Architects Ltd soon as they are discovered.
- Construction Design & Management (CDM) Regulations 2015; This project is subject to these regulations. The drawings and notes provided by L Bevens Associates Architects Ltd are to be included in the Health and Safety Construction Phase Plan and forwarded to the Principal Contractor.
- All materials used in this project must be in accordance with British and European Standards and Codes of Practice and/or any other regulations current at the date of initial issue of the drawing.
- No substances that may cause harm or damage shall be used in the project in particular substances not in accordance with current British and European Standard Specifications and Codes of Practice.



L Bevens Associates Architects Ltd
The Doghouse
10 Cricketers Way
Chatteris
Cambridgeshire
PE16 6UR
Tel: 01354 693969
Mob: 07739 562818
Email: enquiries@lbevns-associatesltd.co.uk
Web: www.lbevns-associatesltd.co.uk

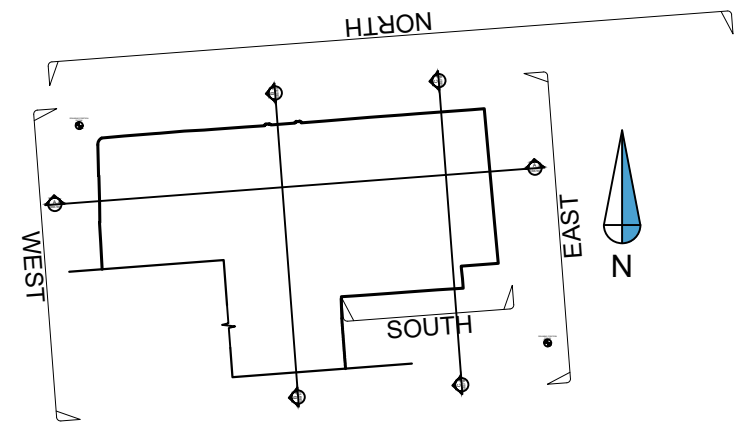
DRAWING STATUS	PRELIMINARY PLANNING	☐	CONSTRUCTION	☐
CLIENT	Mr. A Perryman	☒	FILE COPY	☐

PROJECT
63 Cambridge Street, Godmanchester, Cambridgeshire.

DRAWING TITLE
Location Plan
Block Plan

SCALE	DATE	DRAWN	CHECKED
1:1250 & 1:500 @ A3	March 2026	LB	
DRAWING NUMBER	REVISION		
CH26/LBA/711/FP-1-100			

Notes:



Rev	Comments	By	Chkd	Date
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Project Name
63 Cambridge Street, Godmanchester,
Huntingdon PE29 2AY

CAD Drawing Name
SB8769 - MBS - REV A

Drawing Title
GROUND FLOOR PLAN

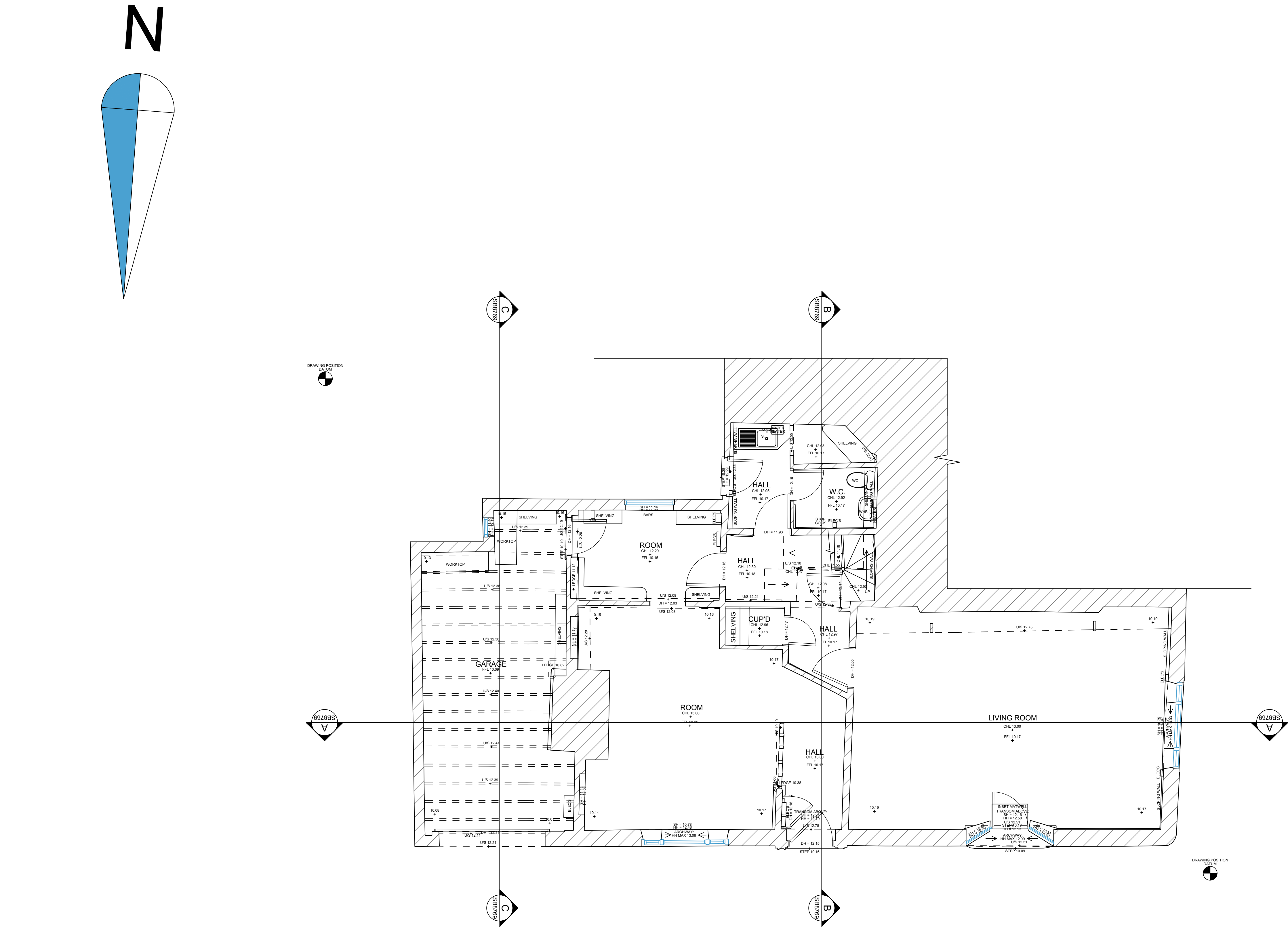
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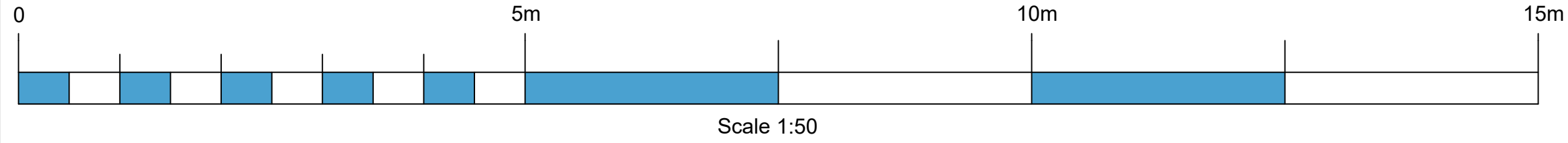
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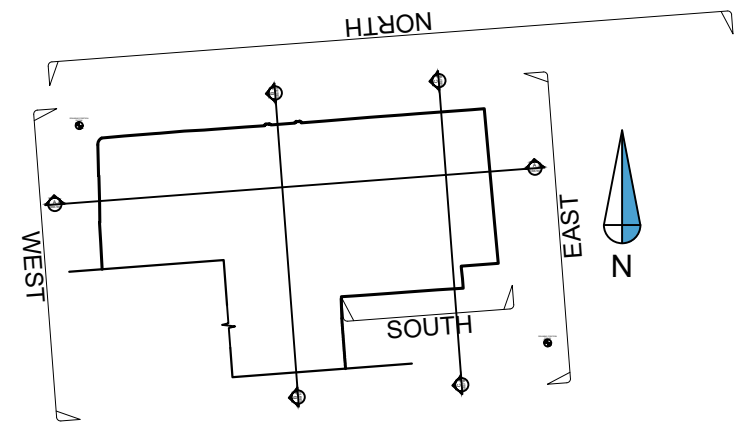
Tree species and sizes on this drawing are not guaranteed, and if critical should be verified by an arboriculturist. Tree spreads are average about the bole, and heights are approximate at the time of the survey.



GROUND FLOOR PLAN



Notes:



Rev	Comments	By	Chkd	Date
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CAD Drawing Name
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Drawing Title
FIRST FLOOR PLAN

Client Artifex Conservation Architects	Date 10/05/2023
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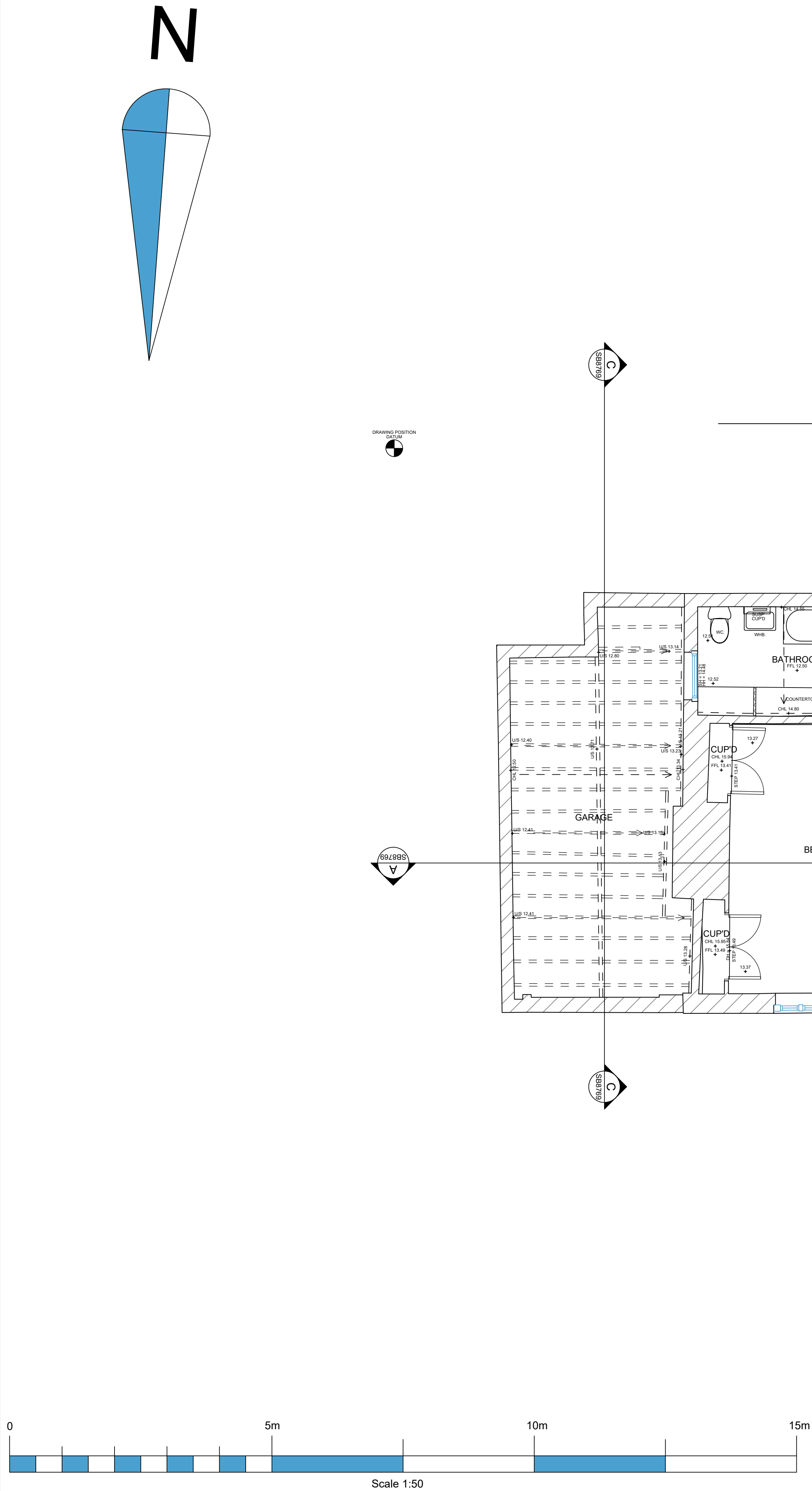
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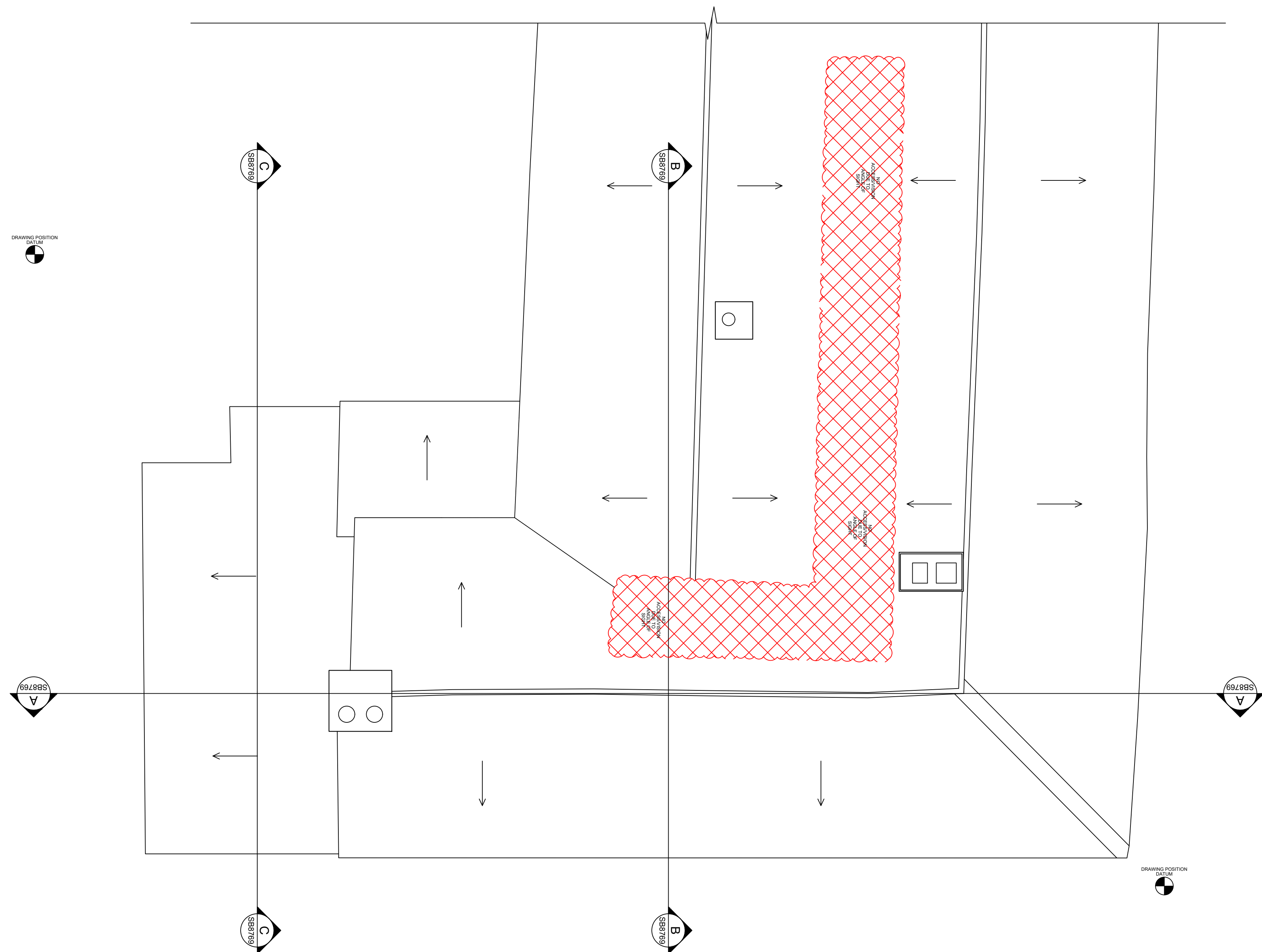
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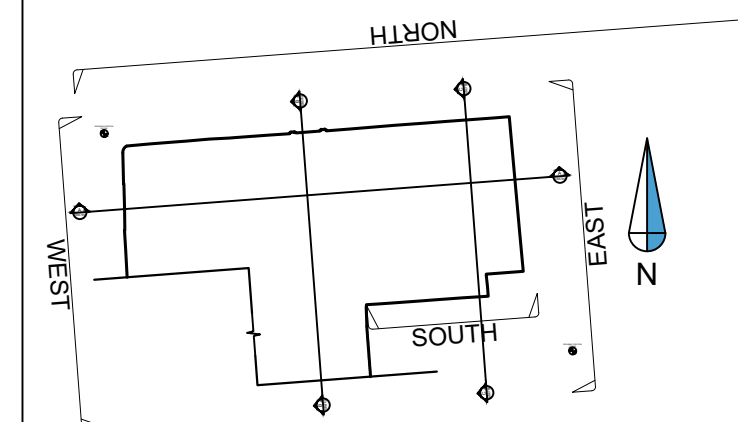
ROOF PLAN



Scale 1:50



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CAD Drawing Name
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Drawing Title
ROOF PLAN

Client
Artifex Conservation
Architects

Date	10/05/2023
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Scale
A1 @ 1:50

Drawn By
SB - PD

Grid Orientation
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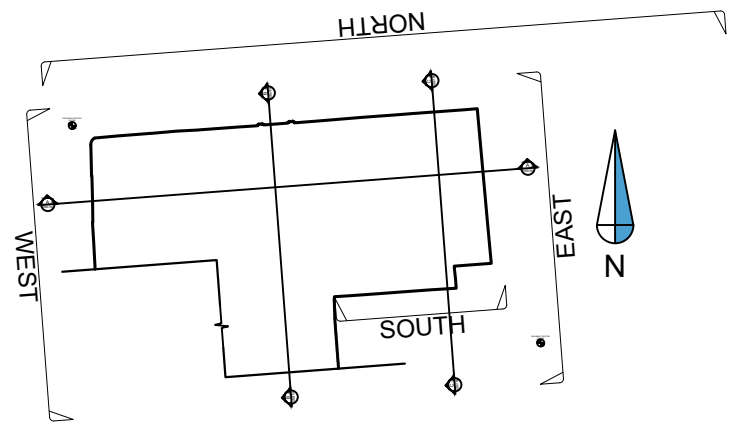
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CAD Drawing Name
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Drawing Title
EAST ELEVATION

Client Artifex Conservation Architects	Date 10/05/2023
Scale A1 @ 1:50	

Drawn By SB - PD	Checked By SB - CW	SB Code SB8769	Revision A
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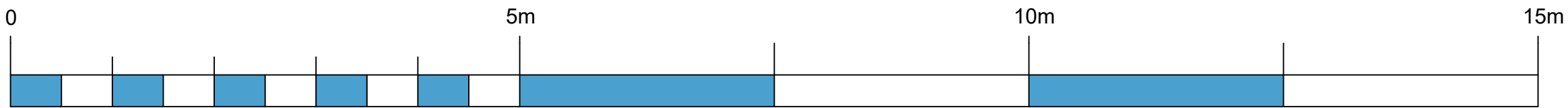
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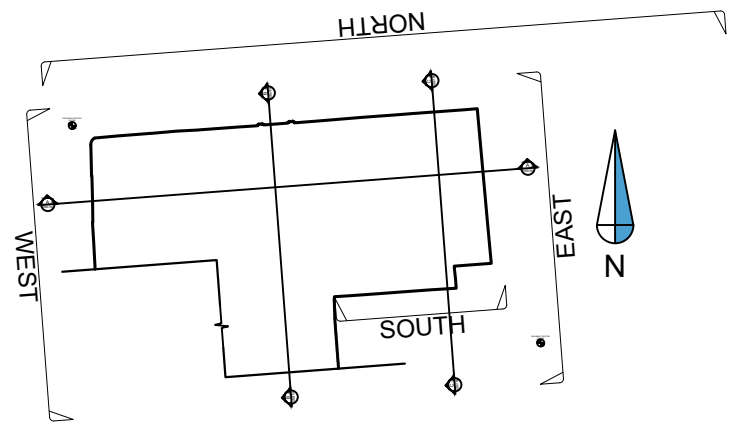


EAST ELEVATION



Scale 1:50

Notes:



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Project Name
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CAD Drawing Name
SB8769 - MBS - REV A

Drawing Title
NORTH ELEVATION

Client Artifex Conservation Architects	Date 10/05/2023 Scale A1 @ 1:50
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Drawn By SB - PD	Checked By SB - CW	SB Code SB8769	Revision A
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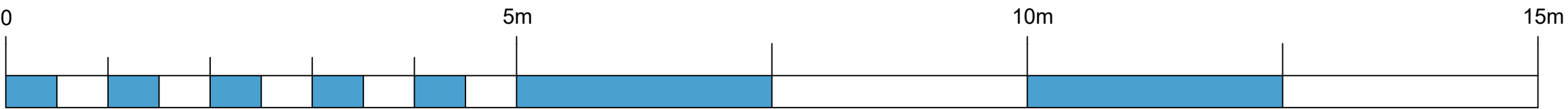
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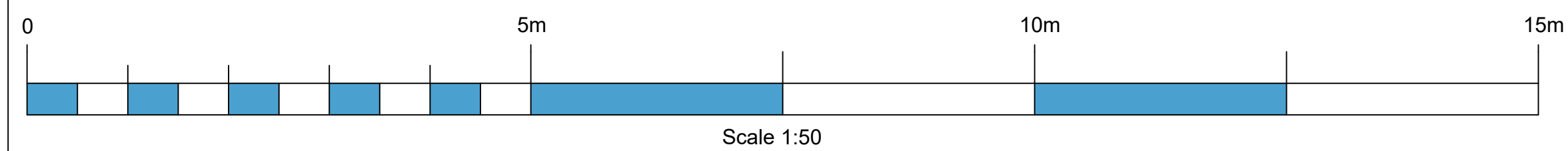
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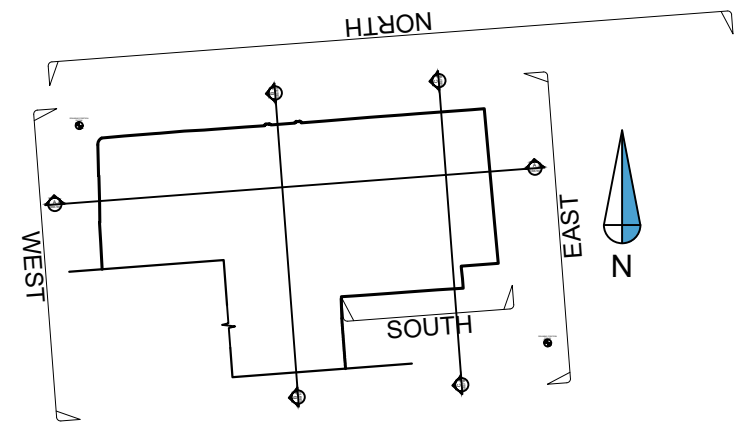
NORTH ELEVATION



Scale 1:50



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Project Name
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CAD Drawing Name
SB8769 - MBS - REV A

Drawing Title
WEST ELEVATION

Client Artifex Conservation Architects	Date 10/05/2023
Scale A1 @ 1:50	

Drawn By SB - PD	Checked By SB - CW	SB Code SB8769	Revision A
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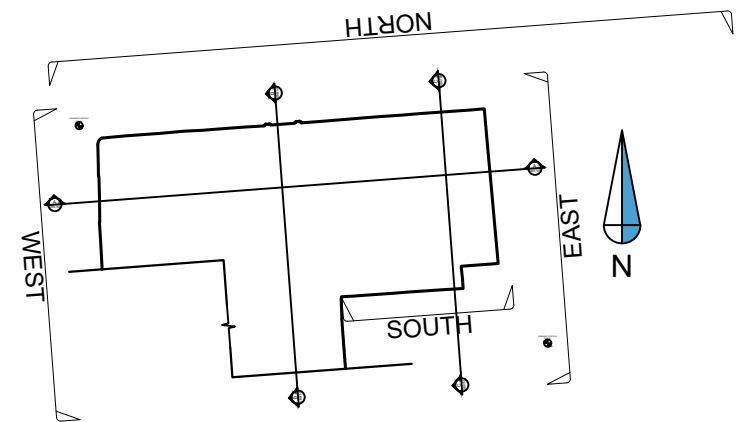
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Scale 1:50

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CAD Drawing Name
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Drawing Title
SECTION A-A

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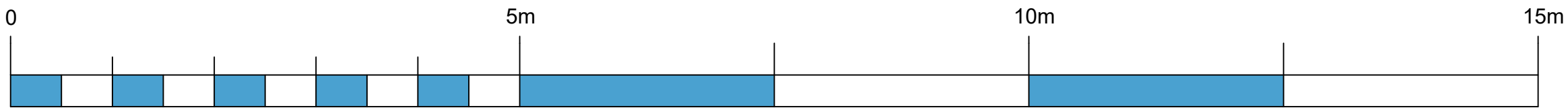
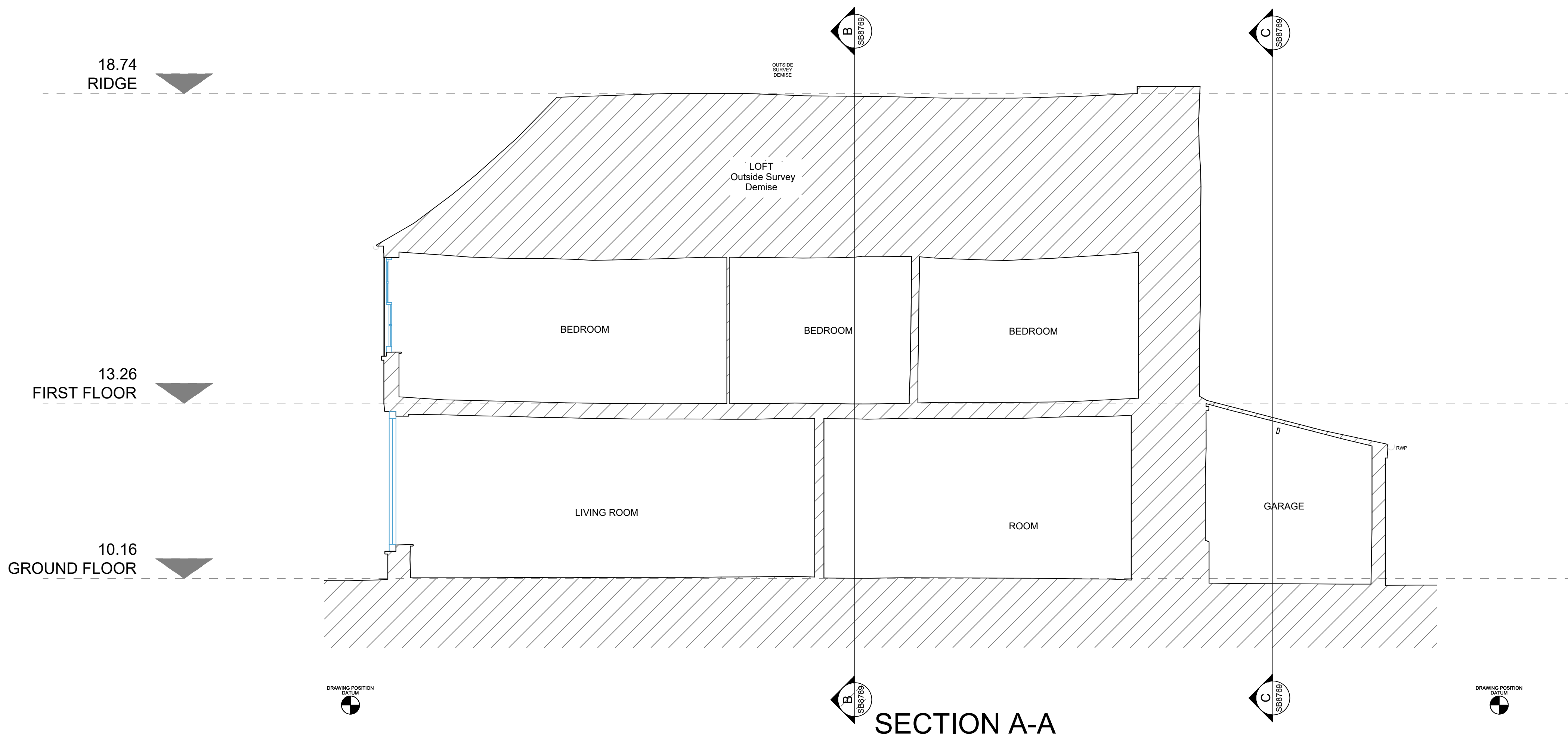
Drawn By SB - PD	Checked By SB - CW	SB Code SB8769	Revision A
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Grid Orientation ARBITRARY	Site Level Datum OS GPS
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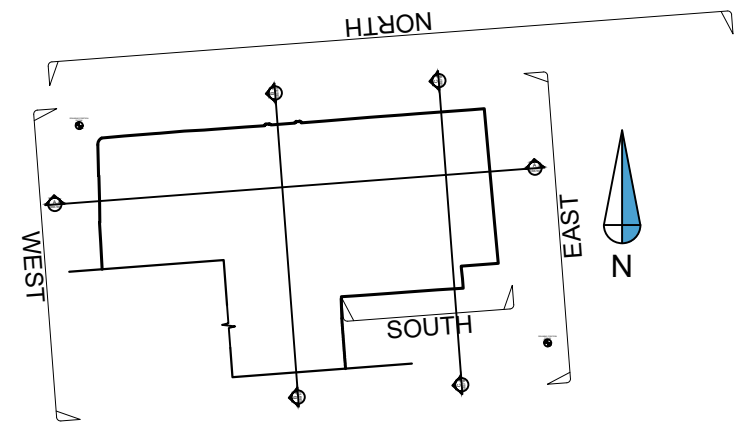


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Scale 1:50

Notes:



Rev	Comments	By	Chkd	Date
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Project Name
63 Cambridge Street, Godmanchester,
Huntingdon PE29 2AY

CAD Drawing Name
SB8769 - MBS - REV A

Drawing Title
SECTION B-B

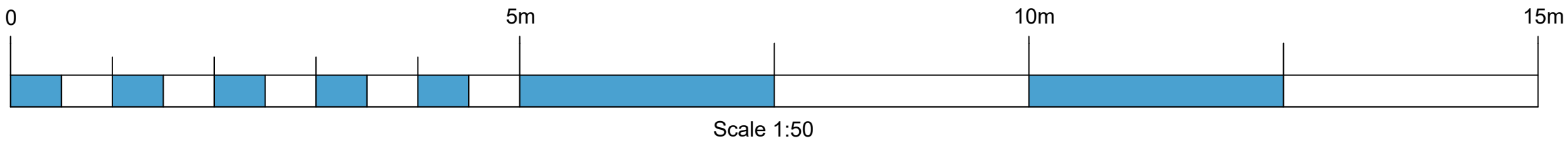
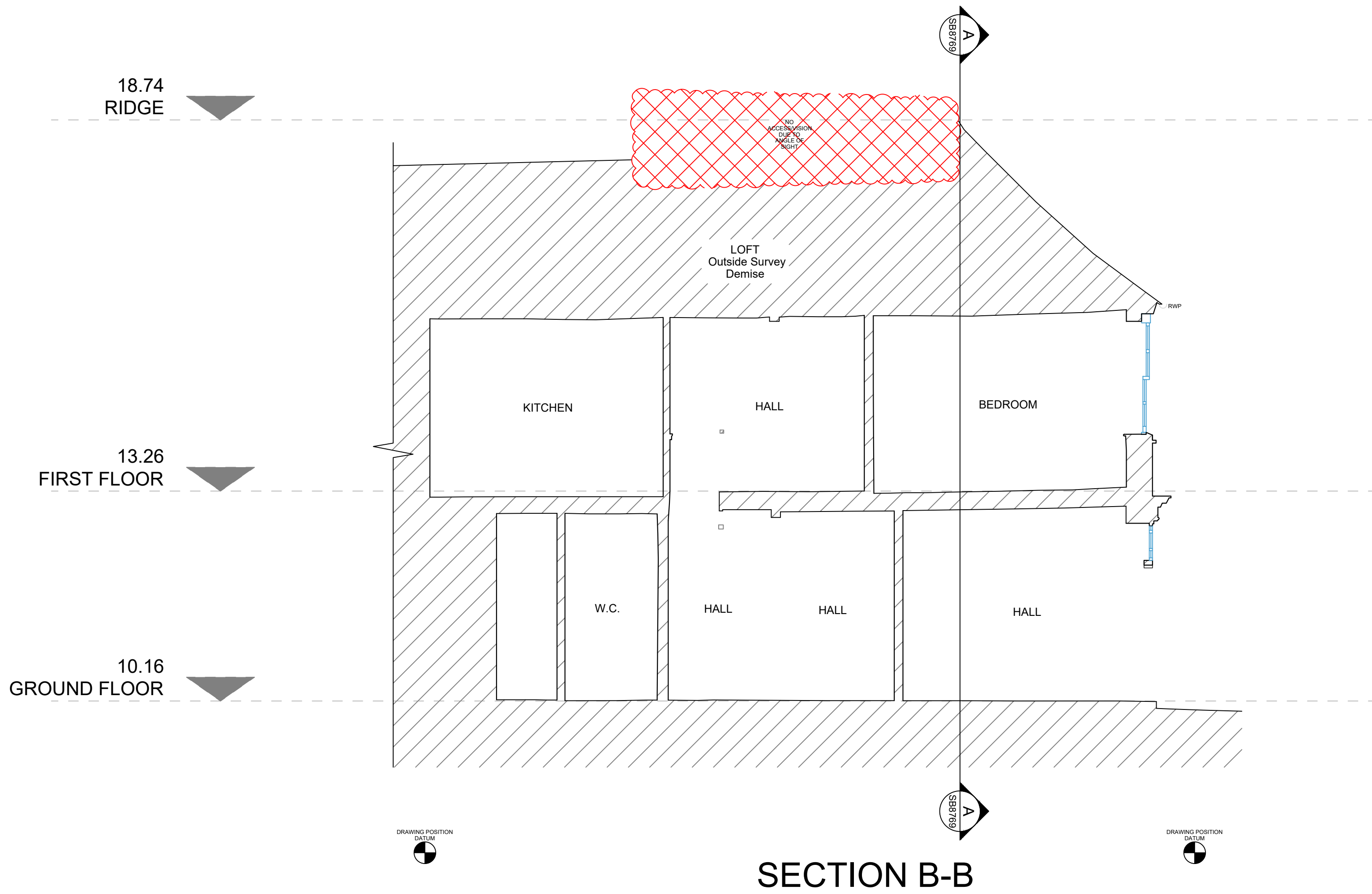
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Drawn By SB - PD	Checked By SB - CW	SB Code SB8769	Revision A
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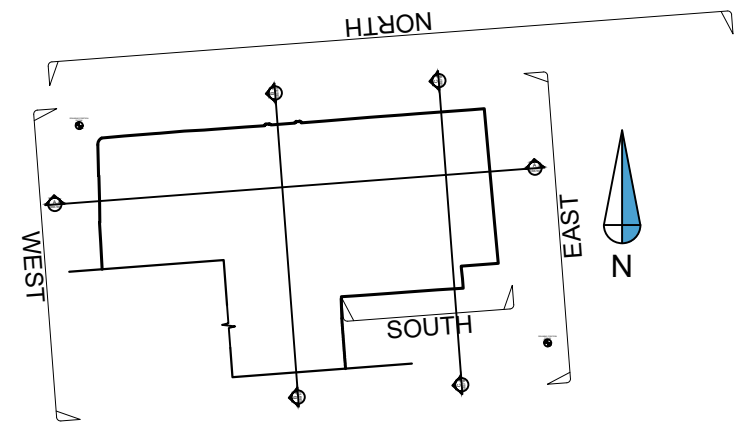
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Notes:



Rev	Comments	By	Chkd	Date
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Project Name
63 Cambridge Street, Godmanchester,
Huntingdon PE29 2AY

CAD Drawing Name
SB8769 - MBS - REV A

Drawing Title
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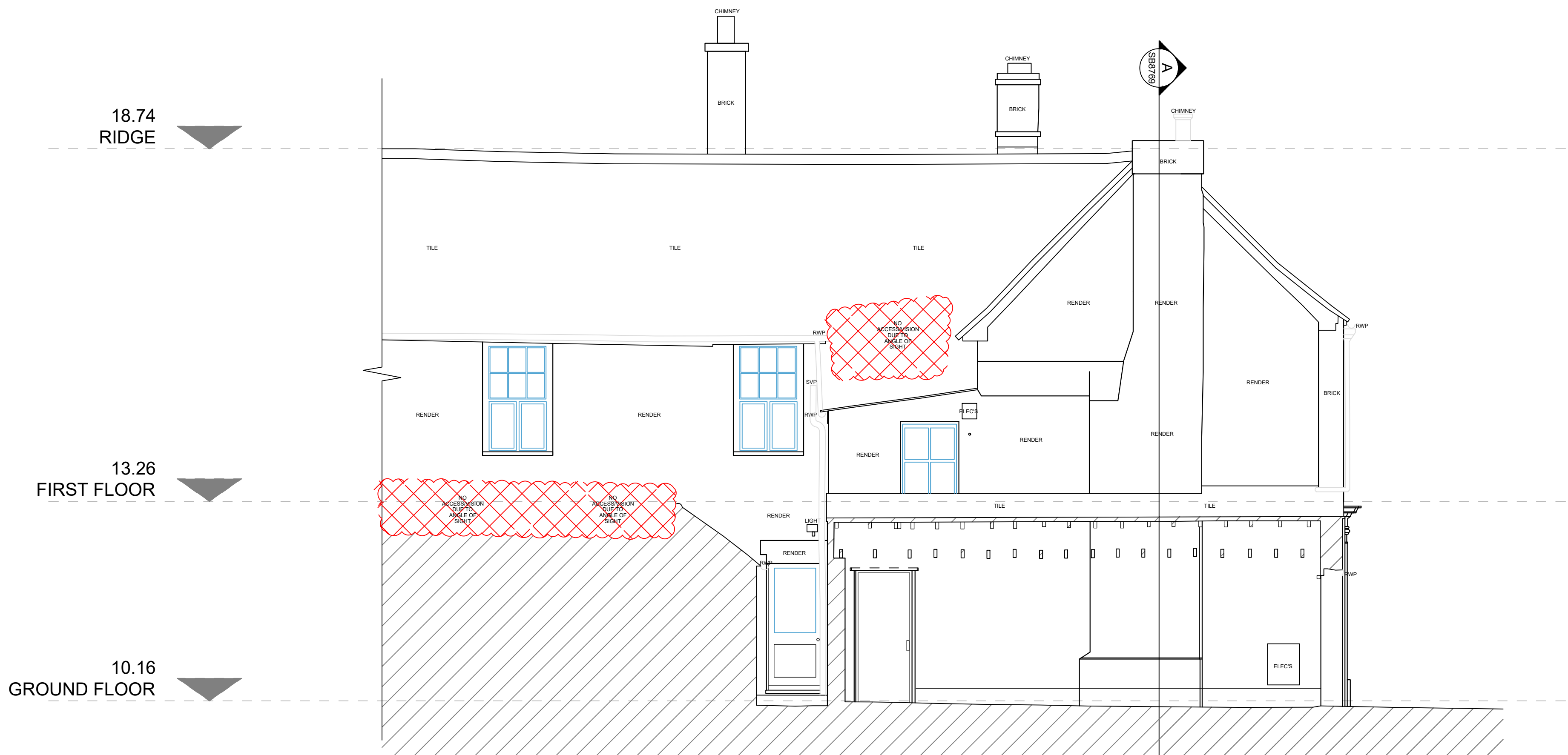
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Drawn By SB - PD	Checked By SB - CW	SB Code SB8769	Revision A
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Grid Orientation ARBITRARY	Site Level Datum OS GPS
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SECTION C-C



Scale 1:50

Scale: 1:100

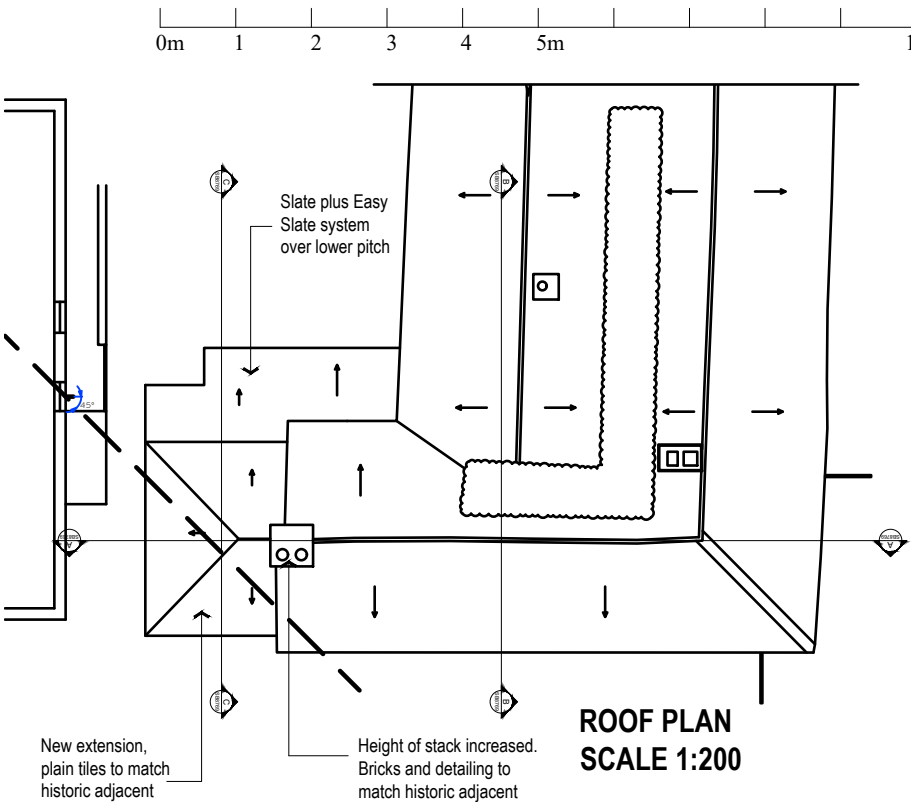
DO NOT SCALE FROM THIS DRAWING

DOOR SCHEDULE

	Door	Location	Action	Notes
Ground	D7	Entrance Door	New	Refer to Drg. No. CH26/LBA/711/FP-1-104
	D8	Office 3/Office 2	New	Refer to Drg. No. CH26/LBA/711/FP-1-104
	D9	Stairs		Refer to Drg. No. CH26/LBA/711/FP-1-104
	D13	Office 2	New	Refer to Drg. No. CH26/LBA/711/FP-1-104
	D14	Office 1	New with new side lights	Refer to Drg. No. CH26/LBA/711/FP-1-104
First	D10	Wc	New	Refer to Drg. No. CH26/LBA/711/FP-1-104
	D11	Landing	New	Refer to Drg. No. CH26/LBA/711/FP-1-104
	D12	Office 1	New	Refer to Drg. No. CH26/LBA/711/FP-1-104
	D13	Wc	New	Refer to Drg. No. CH26/LBA/711/FP-1-104

WINDOW SCHEDULE

	Window	Location	Action	Notes
Ground	W1	Bedroom 3	New	Refer to Drg. No. CH26/LBA/711/FP-1-104
	W2	Hall	New	Refer to Drg. No. CH26/LBA/711/FP-1-104
	W3	Kitchen	New in existing opening	Refer to Drg. No. CH26/LBA/711/FP-1-104
First	W4	Study	New	Refer to Drg. No. CH26/LBA/711/FP-1-104
	W5	Bath/wc	New	Refer to Drg. No. CH26/LBA/711/FP-1-104
	W6	Landing	New	Refer to Drg. No. CH26/LBA/711/FP-1-104
	W7	Wc	New	Refer to Drg. No. CH26/LBA/711/FP-1-104
	W8	Stair light	Existing window depth reduced/opening modified. New window	Refer to Drg. No. CH26/LBA/711/FP-1-104
	W9	Kitchen	Bottom sash leaf reinstated	
	W10	Bedroom 1	Replacement like for like	



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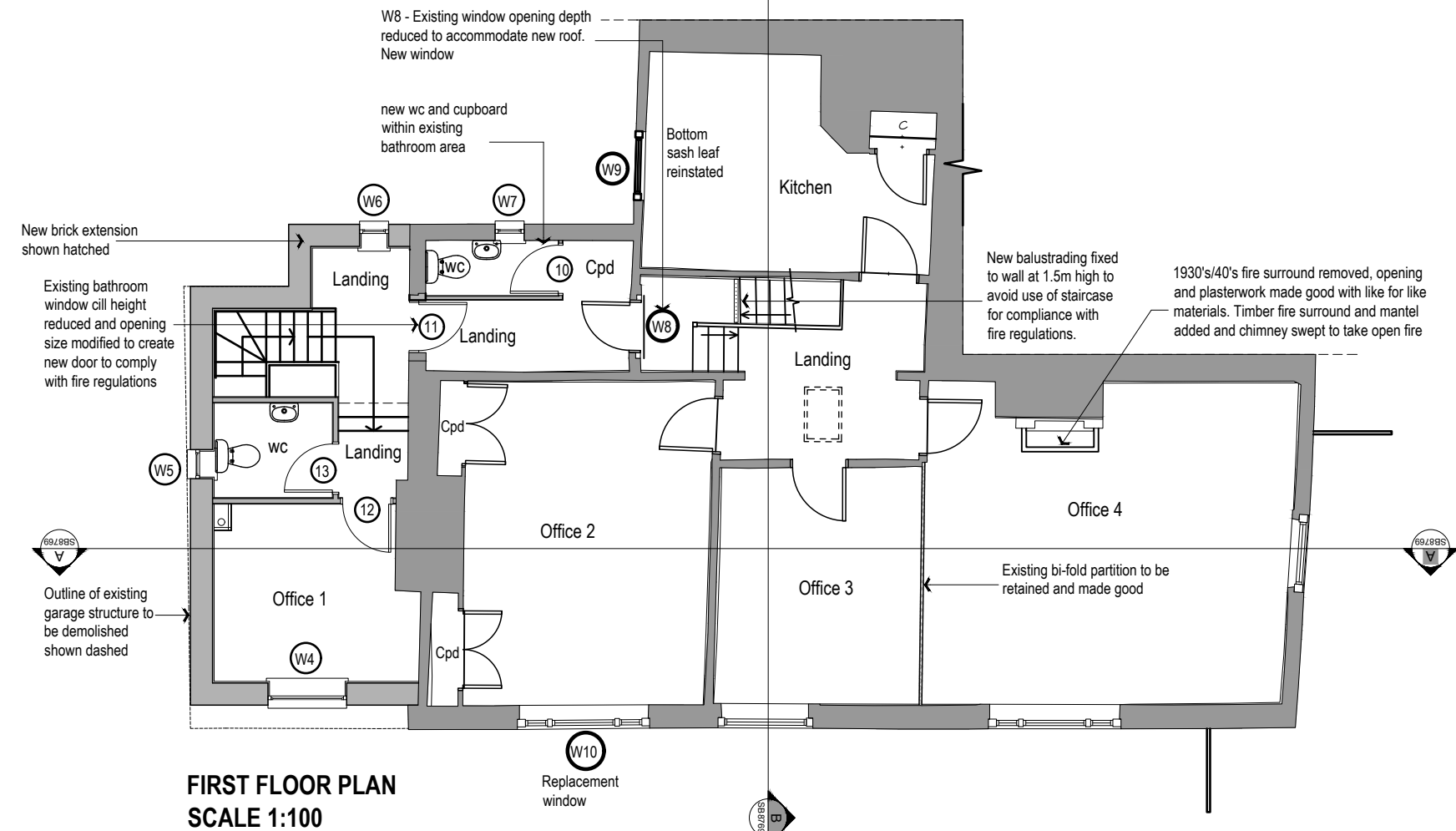
General Notes

Quality Standards

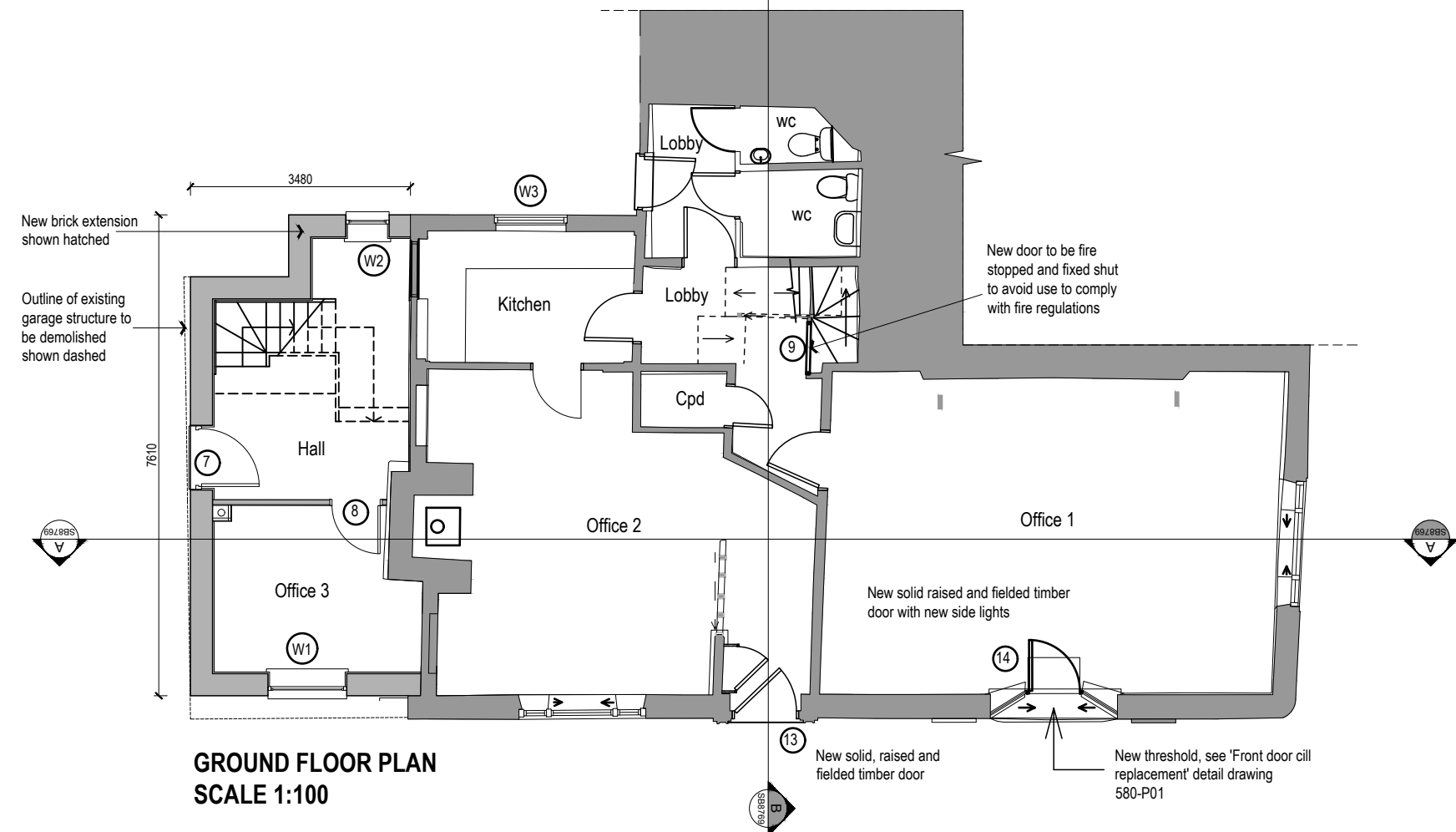
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FIRST FLOOR PLAN
SCALE 1:100



GROUND FLOOR PLAN
SCALE 1:100



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CLIENT
Mr. A. Perryman

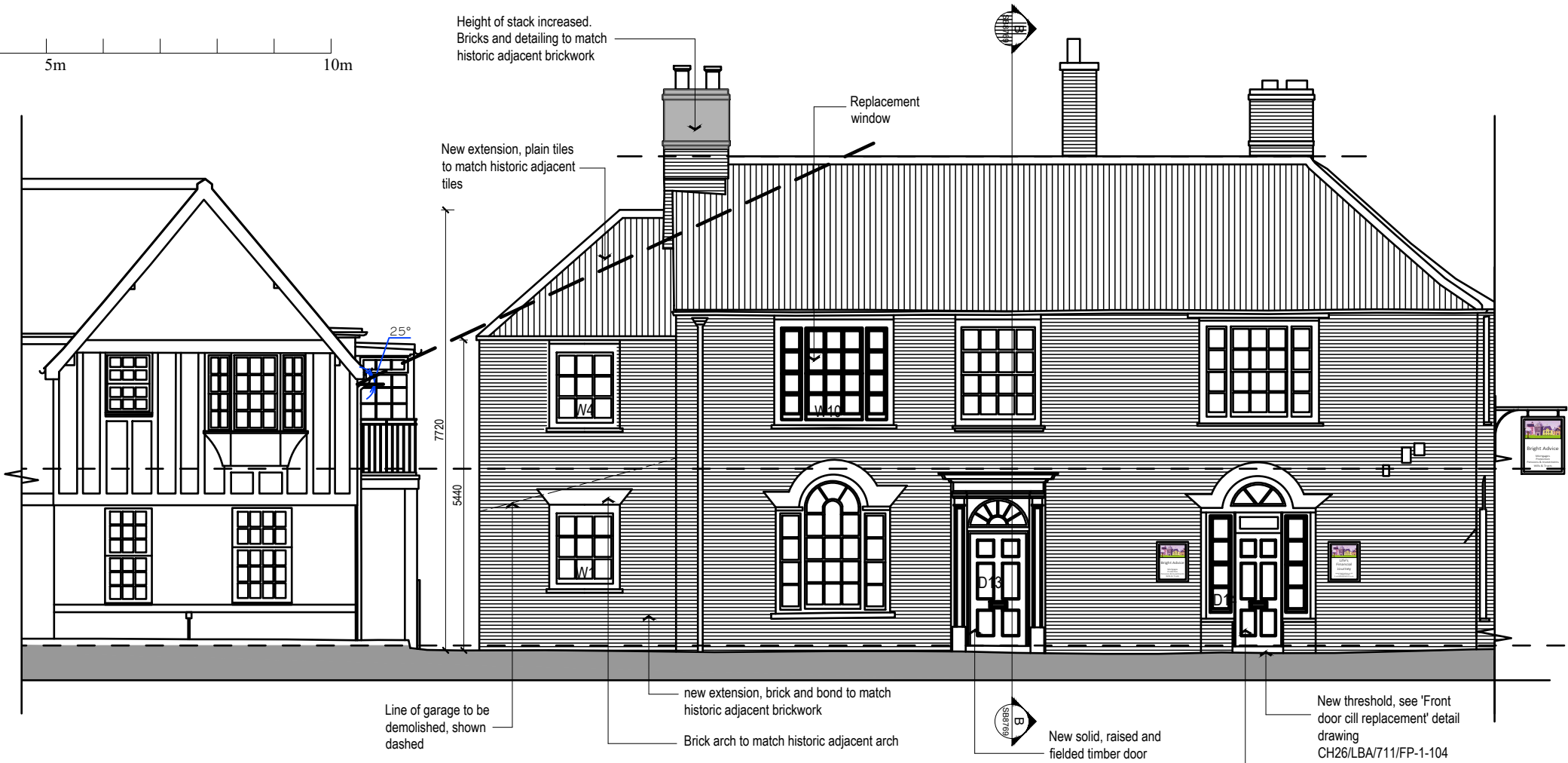
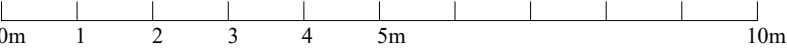
PROJECT
163 Cambridge Street, Godmanchester, Cambridgeshire.

DRAWING TITLE
Proposed Floor Plans

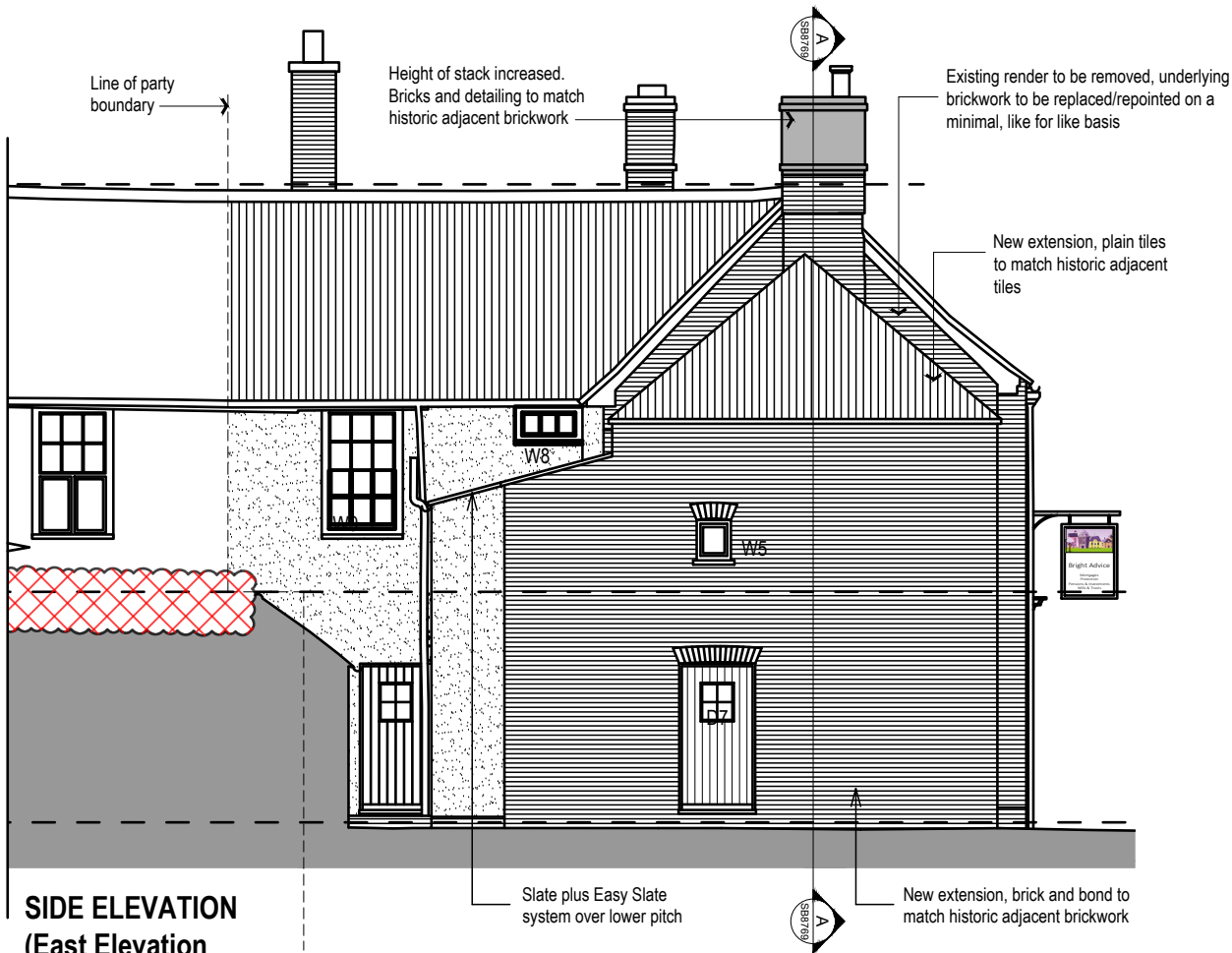
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DATE: March 2020
DRAWN: LB
CHECKED: LB
REVISION:

CDM 2015 REGULATIONS
CH26/LBA/711/FP-1-101

Scale: 1:100



CAMBRIDGE STREET ELEVATION (North Elevation)



SIDE ELEVATION
(East Elevation)

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CLIENT
Mr A Perryman

PROJECT
63 Cambridge Street, Godmanchester,
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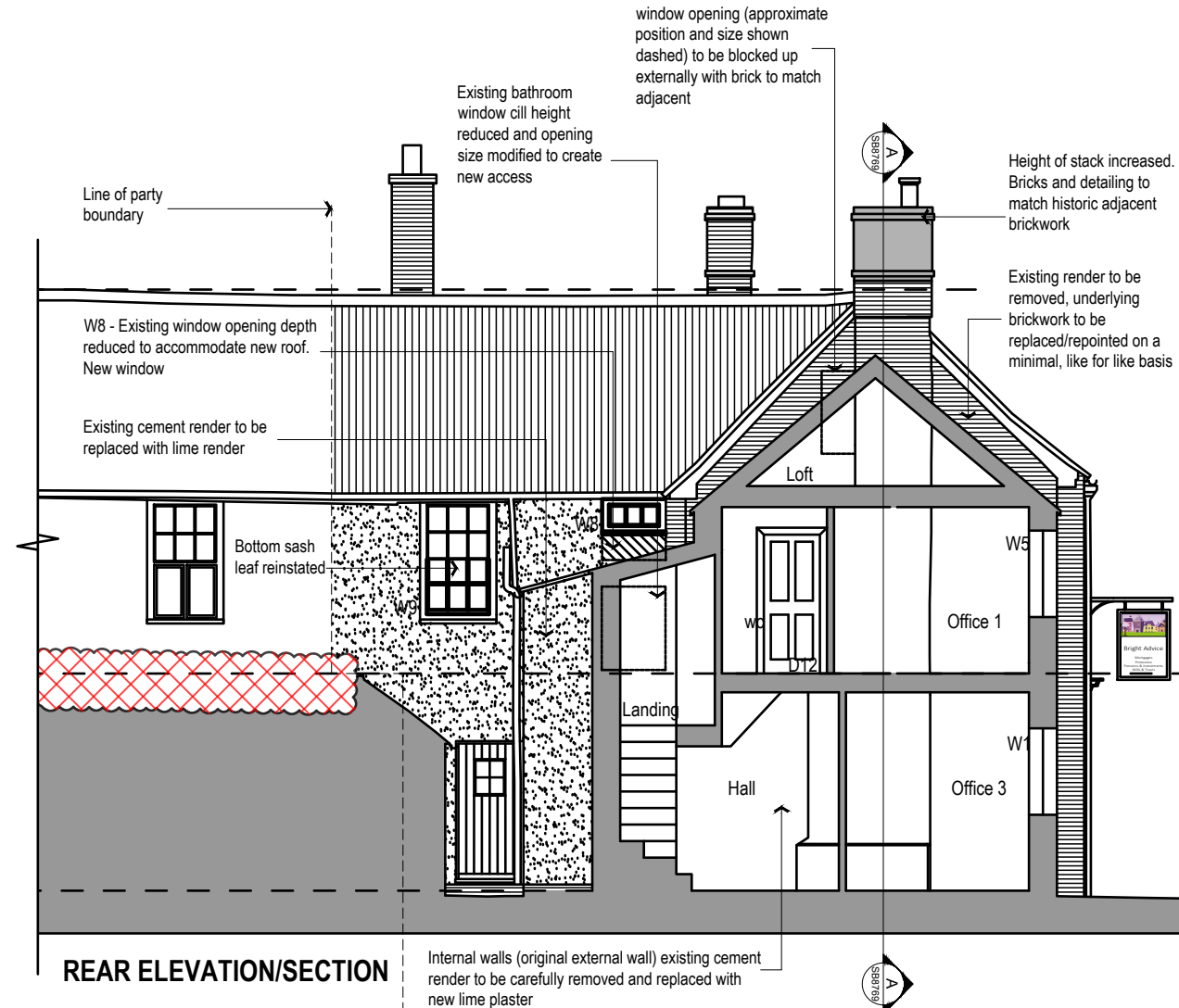
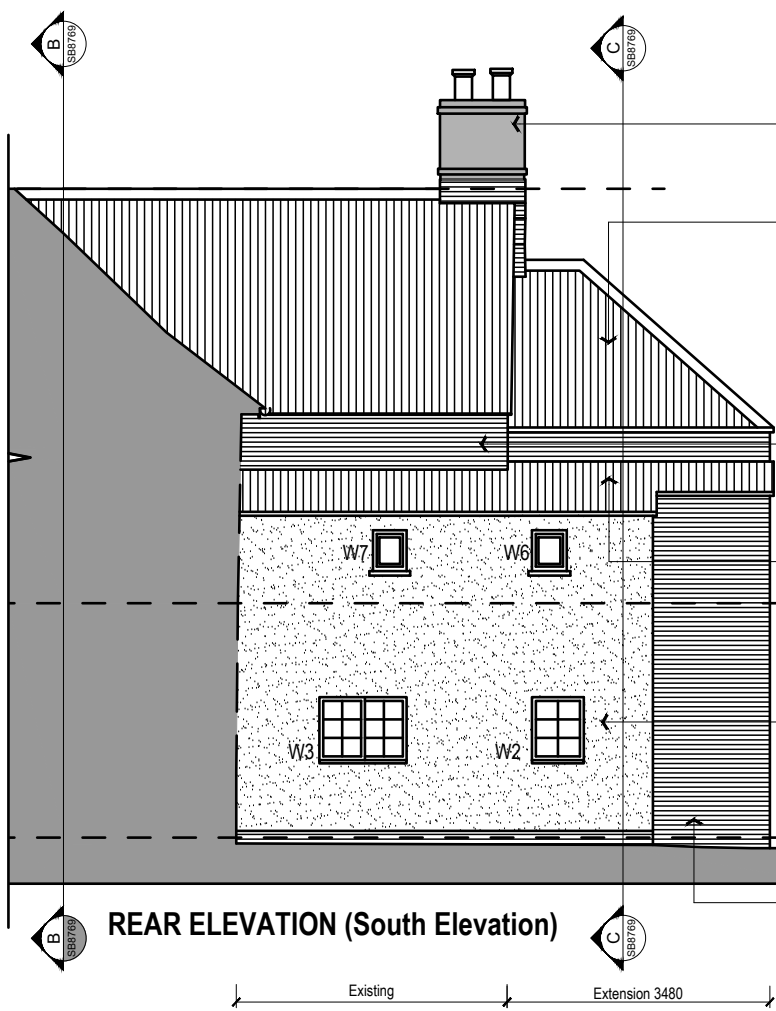
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Proposed Cambridge Street Elevation
Proposed Side Elevation (East Elevation)

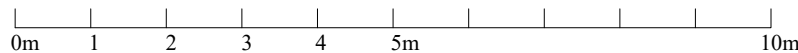
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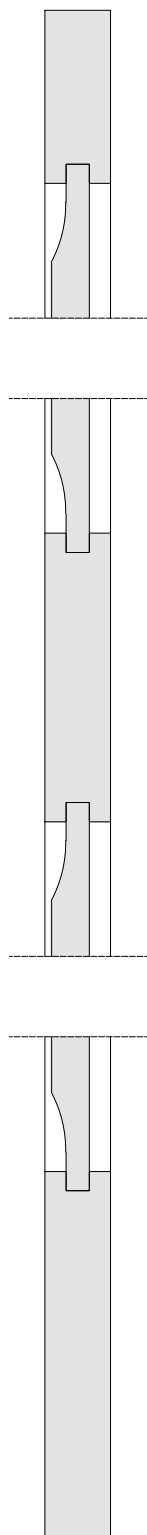
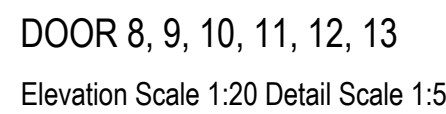
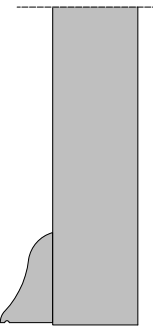
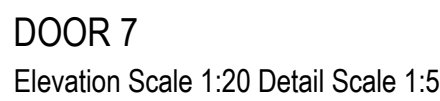
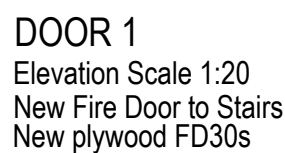
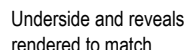
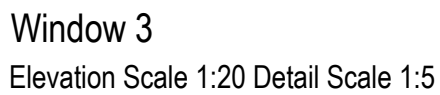
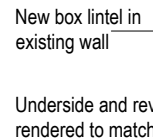
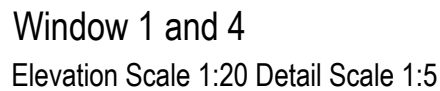
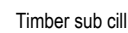
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Proposed Rear Elevation (South)
Proposed Side Elevation (West)
Proposed Rear Elevation/Section

SCALE DATE DRAWN CHECKED
1:100 @ A3 March 2026 LB

DRAWING NUMBER
CH26/LBA/711/FP-1-103

REVISION



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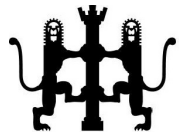
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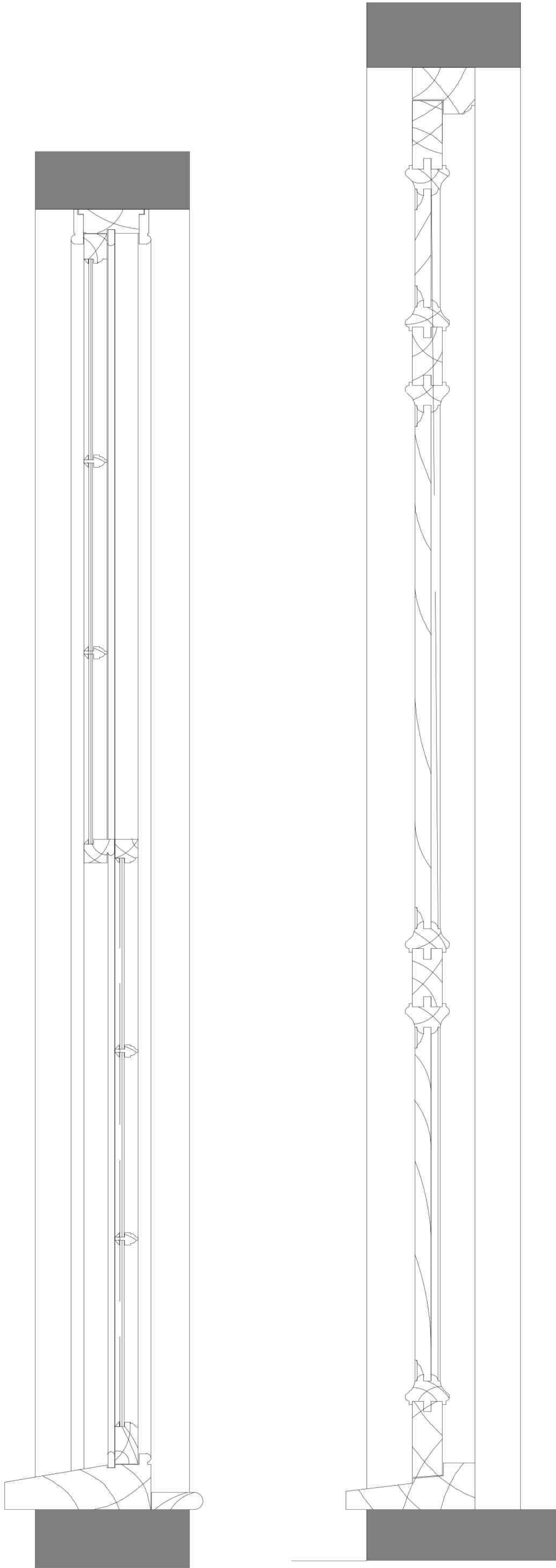
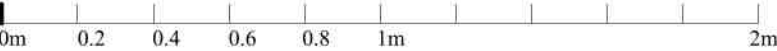
CLIENT
Mr A Perryman

DRAWING TITLE

Proposed door and window details

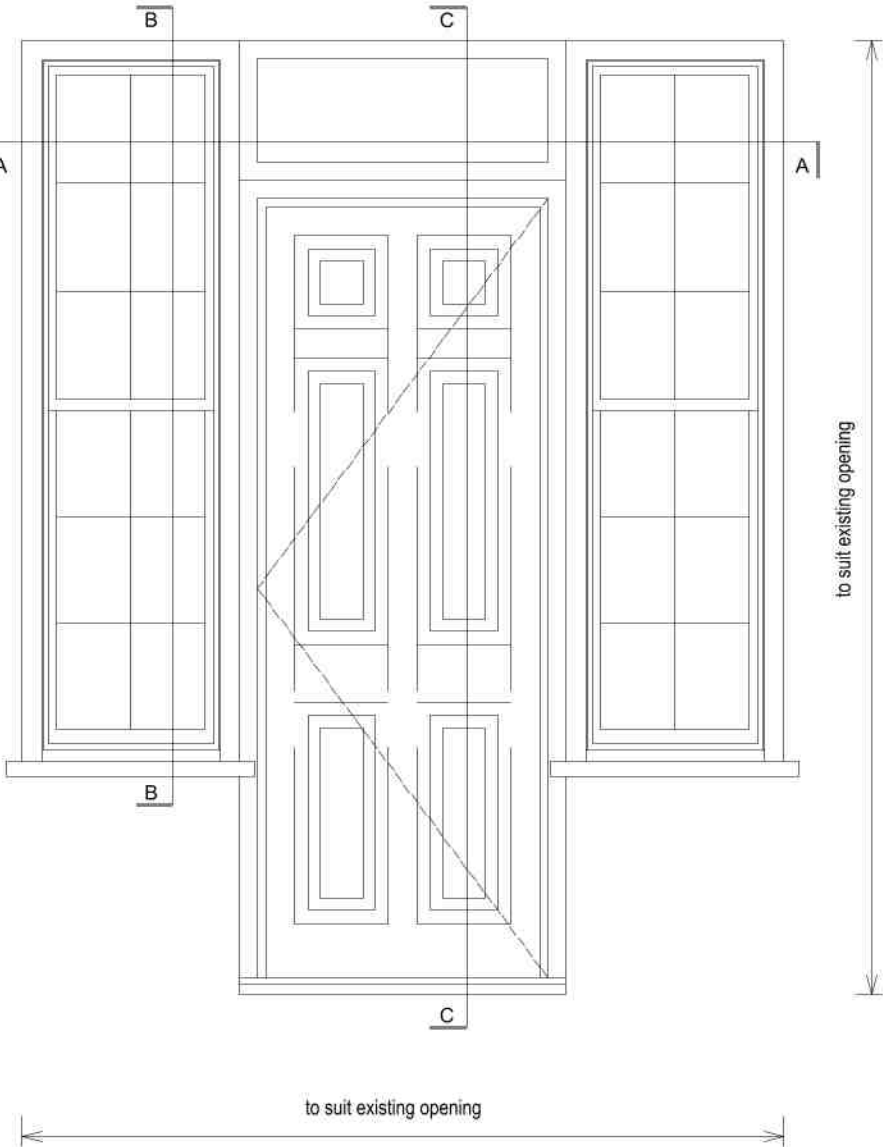
DRAWING NUMBER	REVISION
CH26/LBA/711/FP-1-104	

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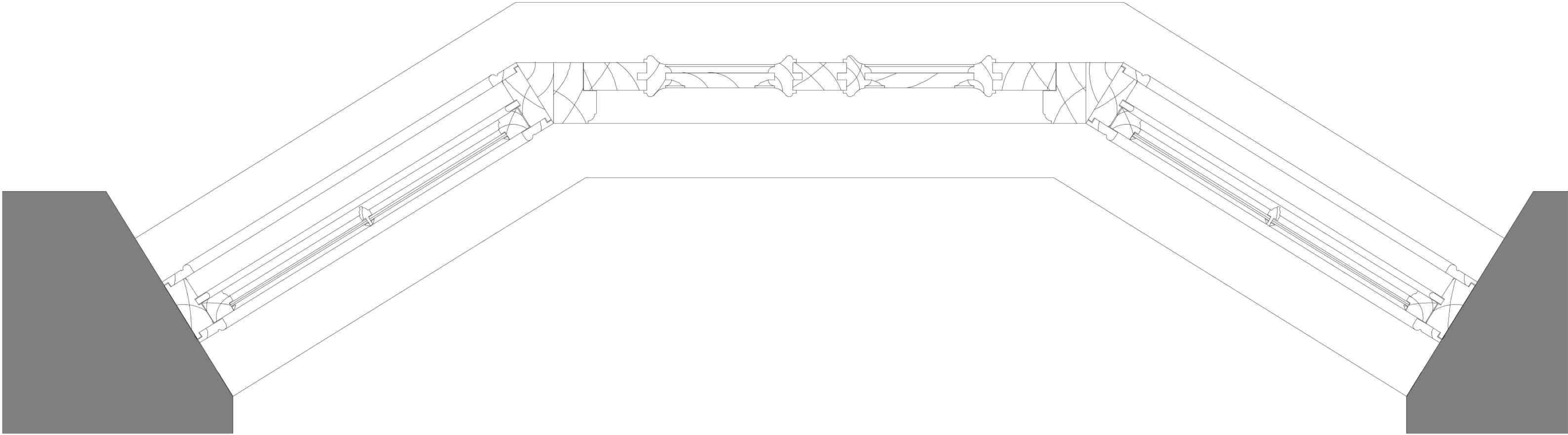
D14 - B-B

D14 - C-C



Door 14 - New door and sidelights in existing opening
Elevation Scale 1:20 Detail Scale 1:5

D14 - A-A



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New internal doors

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From the Mendes Collection of Clear Pine Doors

We bring you the Mendes Islington door. The Mendes Islington Pine Door offers a timeless design that seamlessly blends classic elegance with contemporary appeal. Featuring a combination of flat panels and flat recessed beading, this door creates a clean, simple, an stylish aesthetic that suits a wide range of interiors. Supplied un-finished as standard, the Islington Pine Door is the perfect choice for those who want to add their own personal touch. Whether you prefer a natural wood finish or a custom paint colour, this door allows you to finish it to your exact specifications, ensuring a professional and tailored result. Crafted from high-quality pine, it is built to last, offering both durability and timeless beauty. Ideal for any space, it provides a sophisticated, yet understated, look that will enhance the character of your home.



Islington - Code: CPISL		
Clear Pine Interior Door - Solid Core		
Imperial Sizes - 35mm thick	Recc.Price	Offer Price
24" x 78" - 610 x 1981mm	£180.00	less 25% £135.00
27" x 78" - 686 x 1981mm		
28" x 78" - 711 x 1981mm		
30" x 78" - 762 x 1981mm		
32" x 80" - 813 x 2032mm		
33" x 78" - 838 x 1981mm		

Islington FD30 - Code: FCPISL		
Clear Pine Interior Half Hour Fire Door		
Imperial Sizes - 44mm thick	Recc.Price	Offer Price
27" x 78" - 686 x 1981mm	£380.27	less 35% £247.17
30" x 78" - 762 x 1981mm		
32" x 80" - 813 x 2032mm		
33" x 78" - 838 x 1981mm		

All prices are excluding VAT

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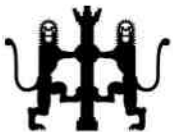
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Web: www.bevens-associatesltd.co.uk

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CLIENT: Mr A Perryman

PROJECT: 63 Canbridge Road, Godmanchester, Cambridgeshire

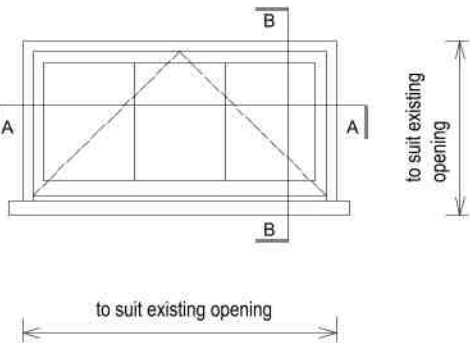
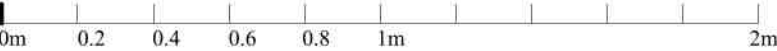
DRAWING TITLE: Proposed door and window details

Sheet 3 (D14)

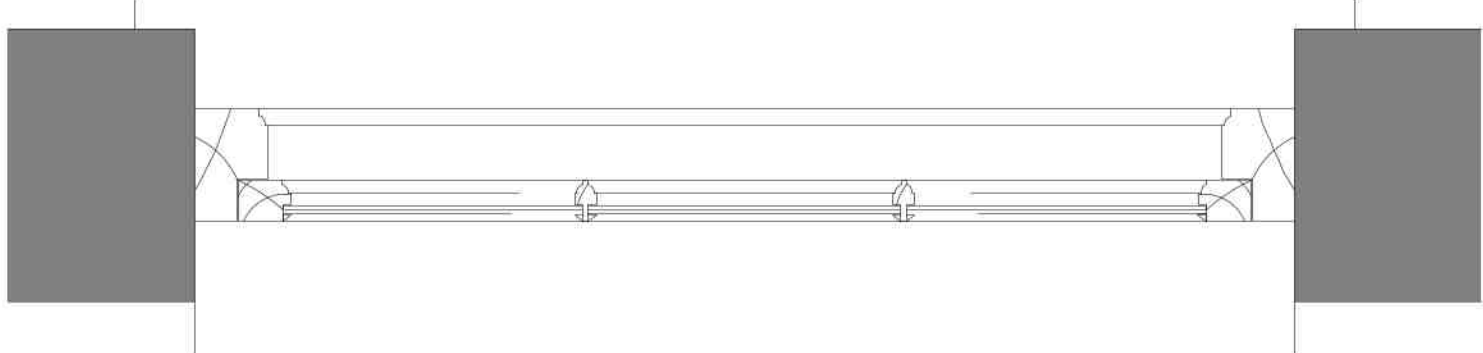
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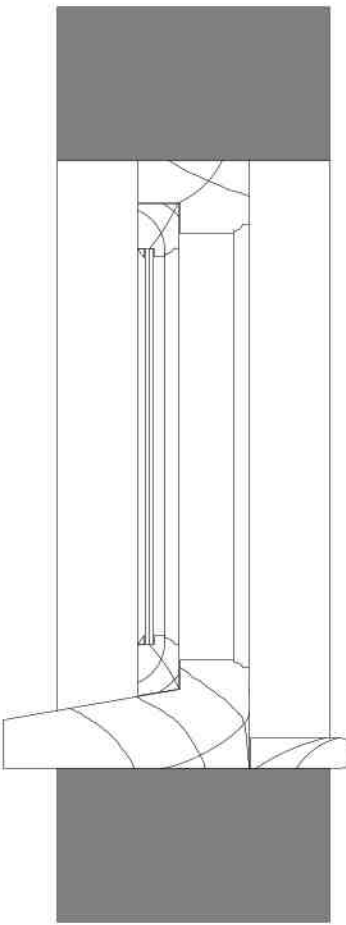
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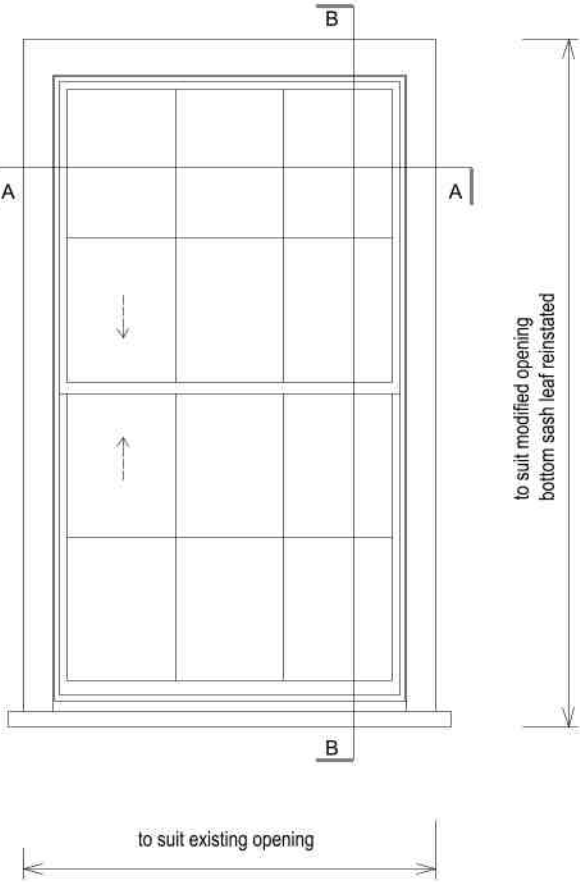
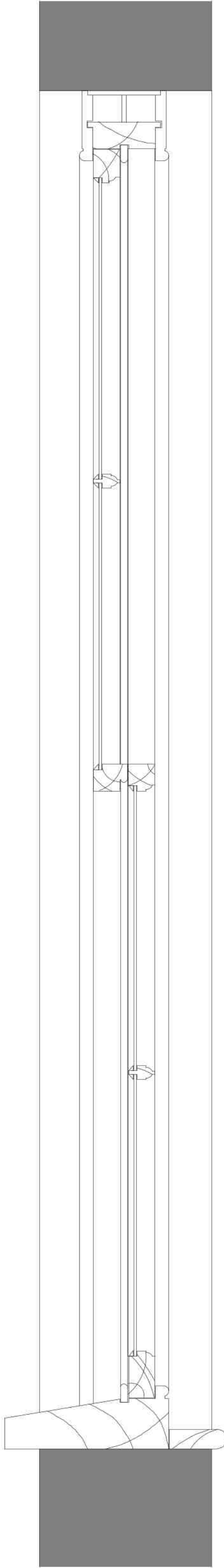
Window 8
Elevation Scale 1:20 Detail Scale 1:5



W8 - A-A

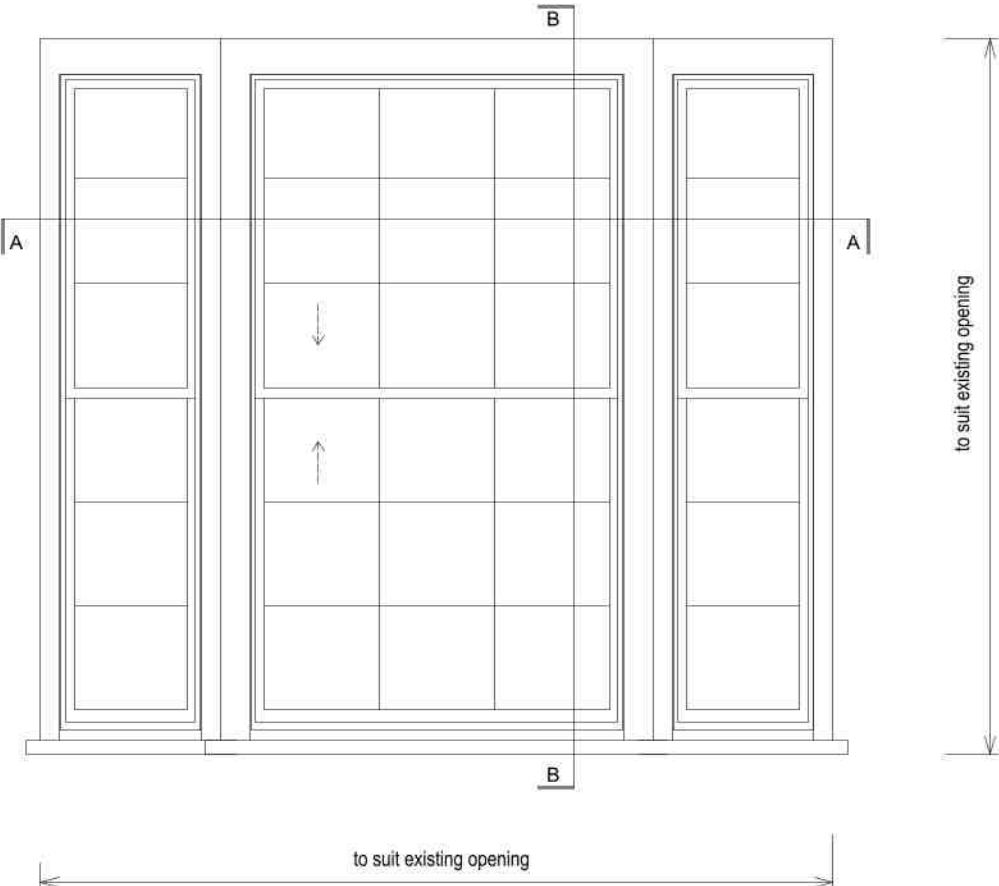
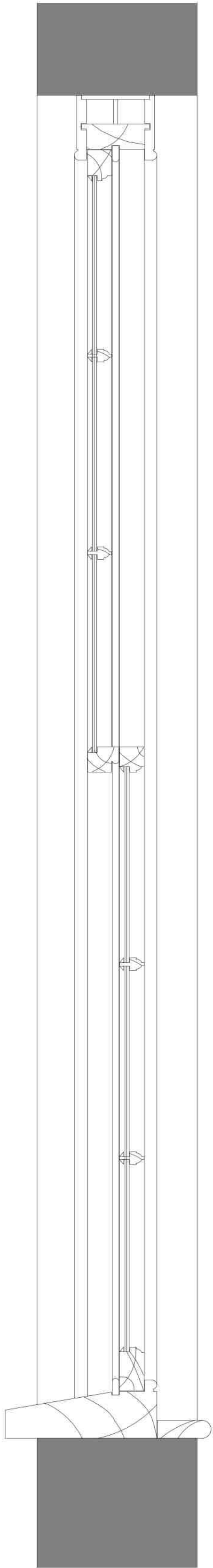


W8 - B-B



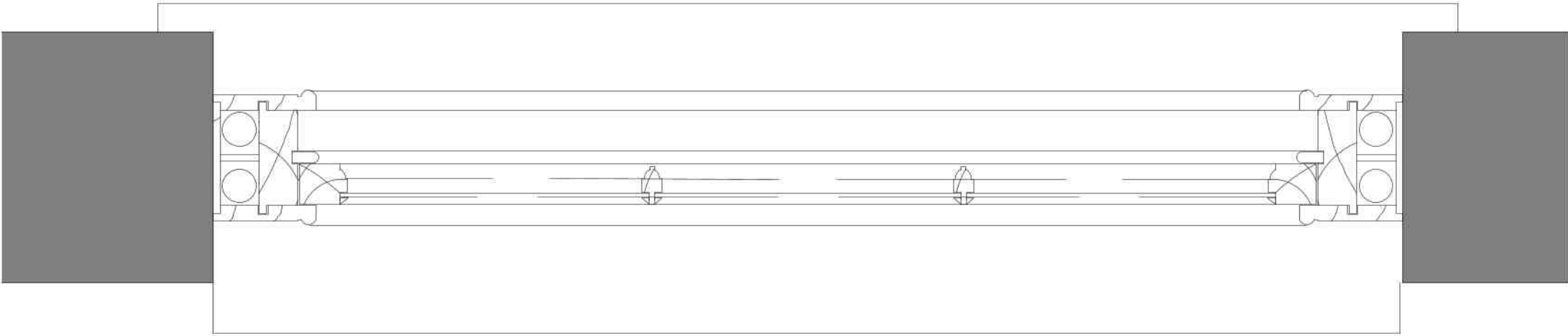
Window 9 - Bottom leaf reinstated
Elevation Scale 1:20 Detail Scale 1:5

W09 - B-B

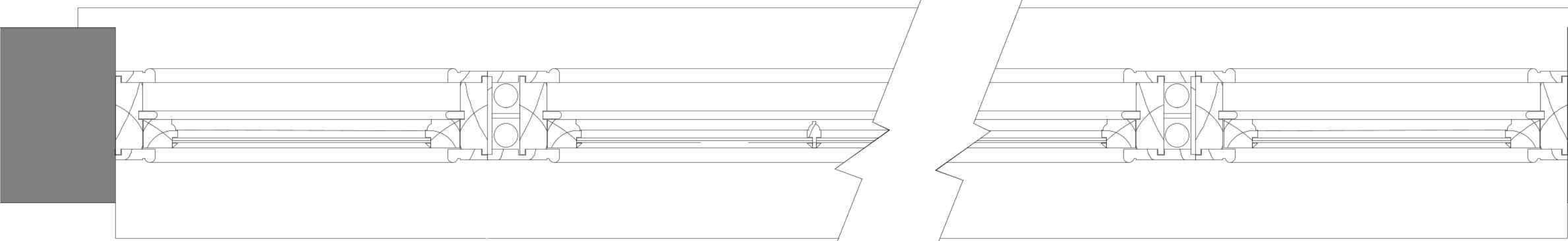


Window 10 - Replacement in existing opening
Elevation Scale 1:20 Detail Scale 1:5

W10 - B-B



W09 - A-A



W10 - A-A

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CLIENT: Mr A Perryman

PROJECT: 63 Canbridge Road, Godmanchester, Cambridgeshire

DRAWING TITLE: Proposed door and window details
Sheet 2 (W8, W9 and W10)

SCALE: 1:5 and 1:20 @ A1 March 2026 DATE: LB DRAWN: CHECKED:
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